



SIDDHANTAM HERITAGE SCHOOL

Under the Aegis of Slate Share Educational Technology Society

FEE STRUCTURE FOR THE SESSION 2025-26 NEW ADMISSION		
HEADS	TYPE OF FEE	MONT I –VI
ADMISSION FORM & REGISTRATION FEE	NON REFUNDABLE	500
ADMISSION FEE (ONE TIME)	NON REFUNDABLE	20000
REFUNDABLE SECURITY (ONE TIME)	REFUNDABLE	5000
TOTAL AT THE TIME OF ADMISSION		25000
SCHOOL FEE FOR THE SESSION 2024-25		
HEADS	CLASSES	MONTHLY FEE
COMPOSITE FEE	Mont I-III	5500
	Class I & V	6500
	Class VI	7000
BOOKS & UNIFORM	AS PER RATE	
LMS (DIGITAL)	100 PER MONTH	
TRANSPORT FEE		
DISTANCE	TRANSPORT FEE	
0-5 Kms	1500 Per Month	
5-10 Kms	1800 Per Month	
10-20 Kms	2200 Per Month	
More than 20 Kms	2500 Per Month	
TRANSPORT CHARGES: AS PER DISTANCE FROM THE SCHOOL (BOTH WAYS)		

INSTRUCTIONS:

1. The above mentioned fee is to be paid on a quarterly basis.
2. The Composite Fee mentioned above is the Tuition Fee to be paid on QUARTERLY basis.

Geo-Technical Report



SOIL-INVESTIGATIONS FOR THE PROPOSED SCHOOL BUILDING
AT KHASRA NO. 993CHH, VILLAGE DASNA, GHAZIABAD

CLIENT

M/s Delcy Education Pvt. Ltd.
D-33, Sector-61,
NOIDA -201301

ARCHITECT:



STRUCTURAL ENGG:

PROJECT NO: **2289**
DATE : **31.01.2022**

OFFICE :

SAI SISCON Engineers

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SOIL-INVESTIGATIONS FOR THE PROPOSED SCHOOL BUILDING
AT KHASRA NO. 993CHH, VILLAGE DASNA, GHAZIABAD

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SOIL- INVESTIGATIONS FOR THE PROPOSED SCHOOL BUILDING
AT KHASRA NO. 993CHH, VILLAGE DASNA, GHAZIABAD

INTRODUCTION:

The Geo - technical investigations whose results are presented here-with have been executed as per the authorization provided from the office of M/s Deley Education Pvt Limited, D-33, Sector-61, Noida.

The proposed site is situated at Kharsa No. 993CHH, Villae Dasna, Ghaziabad.

The site area generally in one level without mush undulations. Difference between the highest and the lowest point within the site is in order of about 10 to 15cm.

It is proposed to construct School building having blocks of Ground +3 storied with single basement.

In order to evaluate all relevant soil-parameters required for designing foundation system for the proposed structure, it is essential to determine the physical and engineering characteristics of the sub-soil strata down to the influence zone of foundation system.

For this, the scope has been framed by the client is as follows.

1. Sinking **2 no. bore holes** in all type of soil strata down to the specified depths of **15m** or refusal from their respective existing ground levels with all necessary and required field and laboratory tests.
2. Analyzing all the field and laboratory test and their results as per the **relevant I. S. Codes** and submission of the technical report containing recommendations.

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PROGRAMME OF INVESTIGATIONS:

Both field & laboratory investigations have been carried-out during second half of January,2022. Both boreholes have been marked and progressed at the site as per the directions and approvals of the Clients and their Engineers.

Both boreholes i.e BH-1 & BH-2 have been taken down to 15m depth from the existing ground level.

During investigations, ground water table level was met in both the boreholes at an average depth of 8.0 m from the existing ground level.

During heavy monsoons, this water table level is liable to come up to a level of about 5 to 6m from the existing ground level.

Standard Penetration Test (SPT), Undisturbed Soil Samples (UDS) and disturbed Soil Samples (DS), have been collected at regular intervals or at every change of strata as shown in the respective soil profiles enclosed with this report.

All these disturbed and undisturbed soil samples have been properly named, sealed and packed and were taken to the laboratory.

A locations plan showing all these 2 borehole- locations is enclosed herewith.

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METHODOLOGY:

Drilling bore holes each of 150mm dia. in all type of soil strata at the specified locations from the existing ground level down to the specified depths of 15m or refusal whichever is earlier by using shell and auger technique.

Standard penetration tests (SPT) were conducted in above bore holes at regular intervals of 1.5m to 3.0m as per the specifications and I.S:2131-1981,down to the specified depths or refusal whichever is earlier(refusal shall mean where N –values are 75 or more for 30cm penetration).

The bore holes were cleaned up to the desired depths. Standard split spoon sampler attached to lower end of A drill rods was driven in the bore holes by means of a standard hammer of 63.5 kg falling freely from a height of 75cm. The samplers were driven 45cm as per I S Specification and number of blows required for each 15cm penetration was recorded. The soil samples collected from the SPT sampler were collected in polythene bags as the SPT – disturbed samples.

Undisturbed soil samples (UDS) were collected from the bore holes at selected depths as required by the consultant as per I.S: 2132-1986 and sampling specifications, in thin walled sampling tubes of 50mm to 100mm dia. and 450mm length fitted to an adopter with ball and socket arrangement. These sample tubes were properly sealed at both the ends. Undisturbed soil samples wherever slipped during extraction were duly marked in the respective soil profile tables.

Disturbed soil samples (DS) were also collected from the bore holes at regular intervals or at every identifiable change of strata.

All these samples collected from the bore holes were properly sealed, labeled and transported to our laboratory for testing.

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Moisture Contents: To measure moisture content, a weighted specimen is taken from an undisturbed sample and placed in a tin, where it is oven-dried at 105-110 degree for 18 to 24 hours. The soil is weighted before/after the drying and weight of water is calculated simply by subtracting to two values. Moisture content is defined as the percentage of weight of water over weight of dry soil.

Bulk/natural & dry density: The natural/bulk density is measurement of weight of a solid cylindrical soil specimen taken from an undisturbed sample divided by its volume. The dry density is calculated from the natural density & natural moisture contents.

GRAIN SIZE ANALYSIS : The disturbed soil samples are oven dried before performing grain size distribution analysis. Oven dried samples are separated in to two fractions by sieving it though sieves of sizes 4.45mm, 3.35mm., 2.36mm., 1.18mm.,600 mic., 300 mic., 150mic.,and 75 mic. The portions of the soil samples retained over 75 mic. and above are treated for dry sieving.

The percentages of soil samples passing through the 75 mic. sieve is further subjected to **hydrometer analysis**. The results of both sieve and hydrometer analysis have been used for an assemblage of **particle size distribution**. The particle size distribution is expressed in the form of grain size distribution curves, plotted percentage finer by weight versus diameter in mm.

ATTERBERG LIMITS- (Liquid Limits & Plastic Limit):

The water content between the liquid state to plastic state is termed as liquid limit. Similarly the water content between the plastic state to semi solid state is termed as plastic limits. In the laboratory liquid limit is determined by measuring the water content and the number of blows required to close the width of groove in a standard liquid limit device.

The plastic limits is determined by measuring the water content of the soil when thread of 3mm in diameter begin to crumble.

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Triaxial shear test : In this test undisturbed soil specimen is subjected to 3 compressive stresses at right angle to one another, horizontally confining constantly and the vertical stress is gradually increased until each specimen fails to evaluate cohesion and angle of shearing resistance.

triaxial shear tests have been performed by subjecting the cohesive-soil samples to major principal stresses in increase steps. The test specimen is allowed to consolidate under a number of successive increments of vertical pressure, each pressure increment being maintained constant until the deformation ceases, generally in 24 hours. The successive pressure employed are 0.10, 0.20, 0.40, 0.60, 0.80, 1.0, 1.5, 2.0, 2.5, 3.0, 3.5, 4.0 and 5.0 kg/cm². Thus, these stress increments are progressively carried-out until the failure of the specimen. The dial gauge readings for measuring the deformation are taken after the application of the pressure increment at the following total elapsed time of 0.25, 1.0, 4.0, 9.0, 16.0, 25.0, 36.0, 49.0, 64.0, 81 and 100 minutes until the consolidation is completed.

Free swell index is determined as a ratio between the change in volume of soil (10 gm soil specimen of the oven dry soil passing through 425 micron I.S. Sieve) in swollen state and the original volume, expressed as a percentage of original volume. Similarly **swelling index under a pressure** of 0.50 kg/cm² has been evaluated accordingly.

DirectShearTest: DST were carried out under normal stress of 50, 100 and 150 kPa to ascertain strength properties of ,**cohesion less** sandy soil.

Unconfined Compression Strength Test: UC Test is performed on clayey soil using controlled rate of strain. The purpose of this test to obtain quantitative value of compressive and shear strength of soil in an untrained state.

A cylindrical specimen of 76x38mm size is sheared by pressing in the triaxial cell without applying any confining pressure. The specimen is compressed at a rate of 0.5 to 2% per minute till failure.

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RESULTS AND ANALYSIS:

The top strata down to about 3.5m to 4.0m consists of yellowish brown sandy silt. Below this the strata generally consists of gray silty sand and sand down to the termination depths having layers of sandy silt with small fraction of clay.

Gravels were met in both of these boreholes down to their termination depths.

The percentage variation of various ingredients and their variation is as follows.

<u>BoreHole No.</u>	<u>Percentage Variation</u>			
	<u>Gravel</u>	<u>Sand</u>	<u>Silt</u>	<u>Clay</u>
1	5-17	20-90	0-72	0-8
2	5-15	27-85	5-55	0-7

The natural and dry densities of the sub-soil strata in this complete area under investigation varies as follows:

<u>BoreHole No.</u>	<u>Natural</u>	<u>Dry Density,</u>
		<u>gm/cc</u>
1	1.60-1.98	1.52-1.70
2	1.58-2.02	1.49-1.75

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The specific gravity of the sub soil strata in this area under boreholes n generally varies in between 2.57 to 2.68

The results of SPTs show that the 'N' values generally increases with the depth. these results show that the strata are medium dense down to about 9 to 12m depths and then it tends to become dense.

The observed N values are corrected for both burden pressure as and water table level when required based on the engineering characteristics of the sub soil strata.

The weighted average of these corrected N values is evaluated with in the influence zone of the foundations. These weighted corrected "N" values are used in the analysis while calculating the Safe Allowable bearing Pressure.

Liquefaction is a phenomenon in which the strength and stiffness of a soil is reduced by earthquake shaking or other rapid loading. It occurs when the structure of a loose, saturated sand breaks down due to some rapidly applied loading.

Here, the sub soil strata consists of medium dense to dense strata having "N" values greater than 15 and more within the effective influence zone of the foundations. Therefore, Liquefaction does not occur or it will be as low as negligible.

Both field and laboratory results with their detail analysis under this investigation have been thoroughly studied and recommendations are given below for designing the most safe and economical foundation system.

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RECOMMENDATION:

Depending upon the loading intensity, pattern of loading and configuration of the loading points, the structure can be supported over Isolated footings and Strip foundations

Considering adequate security for the allowable bearing pressure and as per the structural requirement of providing single basement, these foundations can be laid at 4.5m depths from the adjacent road level.

Allowable settlement of 50mm have been used in the analysis for evaluating the Safe allowable bearing pressure.

An annexure is enclosed herewith showing sample calculations considering average soil data.

A water table level correction factor of 0.50 has been adopted in the analysis while recommended the safe allowable bearing pressure.

Allowable Bearing Pressure at recommended depths shall not exceed than the values given below:

Width of Foundation,cm	150	300 & above
Net A.B.P in Kg/cm ²	1.50	1.60
Gross A.B.P. in Kg/cm ²	1.95	2.05



for **SAI SISCON Engineers**

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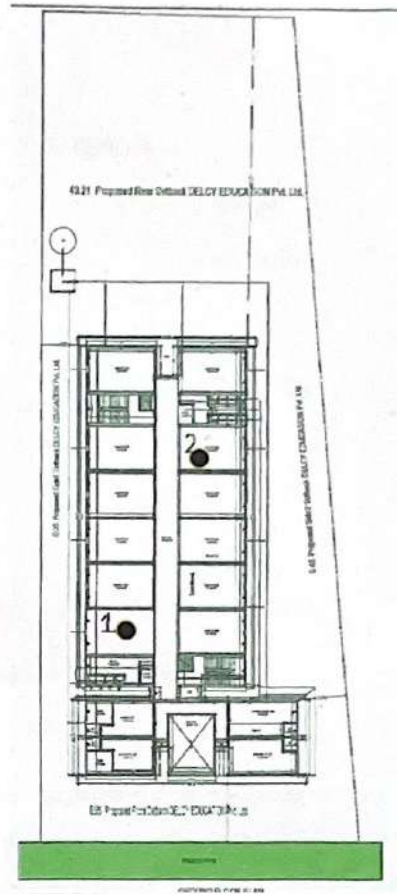
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● **Boreholes – 15m deep**



LOCATION PLAN

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Depth of foundation df = -4.5m from adjacent road level

1. Shear Failure Criterion (Ref: 1S-6403)

Average Soil Data, c =	0.05	kg/cm ²	Ø = 29	r = 1.70	gms/cm ³
R _w =	0.60				
N _c =	23	N _q = 12	N _r = 12	P = r.d = 0.30	Kg/cm ²
q _s =	$\frac{1}{3} [c' N_c + p(N_q - 1) + 0.5rBNrR'w]$				
B =	150 cm	300 cm	450 cm		
q _s =	1.55 kg/cm ²	1.68 kg/cm ²	Not considered		

2. Settlement Criterion

(a) From N-Values (Ref: IS-6403)	S = 50 mm,	R _w = 0.60	
B =	150 cm	300 cm	450 cm
H _s = 2B			
N =	15	16	17
q _s =	1.79 kg/cm ²	1.62 kg/cm ²	1.62 Kg/cm ²
(b) From Deformation Modulus measured in Tri-axial tests:	$q_s = \frac{SE}{0.7 H_s}$		

S = Allowable Settlement = 50 mm (as per IS-1904)

B =	150 cm	300 cm	450 cm
P _c =	0.5 kg/cm ²	1.0 kg/cm ²	1.5 kg/cm ²
E =	63 kg/cm ²	135 kg/cm ²	202 kg/cm ²
H _s =	300 cm	600 cm	900 cm
q _s =	<u>1.50 kg/cm²</u>	<u>1.60 kg/cm²</u>	<u>1.60 kg/cm²</u>

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Codes and Standards : Following I.S Codes & standards are used for soil investigations work comprising field and laboratory test results, their analysis & recommendations for designing the most safe & economical foundation system alongwith the latest revision in the amendments of relevant standards:

- IS : 1892 - Subsurface investigations for foundations.
- IS : 2131 - Method of standard penetration tests.
- IS : 2132 - Thin walled Shelby tubes(Undisturbed soil samples).
- IS : 6935 - Determination of water table level.
- IS : 1498 - Classification and identification of soils for general engineering purposes.
- IS : 1904 - Design and construction of foundations.
- IS : 1080 - Design and construction of simple spread foundations.
- IS : 2720 - Laboratory tests such as moisture content, specific gravity, grain size analysis, liquid and plastic limits & shear strength parameters.
- IS : 6403 - Bearing capacity of shallow foundations. first revision (Amendment 1)
- IS : 8009 - Settlement for shallow & deep foundations.
- IS : 1893 (Part-1). Allowable bearing pressure based on SPT values under seismic forces.
- IS : 2950 - Design & Construction of Raft Foundations.

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PROJECT
Soil Investigation —
School Building

Location: KHASRA NO. 993CHIL, VILLAGE DASNA, GHAZIABAD
 Method shell & auger method
 Borehole dia. 100-150mm
 Borehole No. 01
 Termination depth 15m
 Water table level 8.0m

Sample	SOIL DESCRIPTION	Legend	SPT "N" Values	PARTICLE-GRADATION				LIMITS		Natural density gm/cc	Natural Water Content %	SHEAR TESTS	
				Gravel %	Sand %	Silt %	Clay %	liquid %	plastic %			Cohesion kg/cm2	Phi degree
0.5 SPT-1	yellowish brown Sandy silt (ML)		10	5	35	60	0	28	18	1.60	5.5		
0.0 UDS-1													
0.0 SPT-2	Medium dense Gray fine sand (SP)		17	8	20	72	8	31	21	1.77	6.8	0.05	30
1.5 SPT-3			16	7	88	5	0	non	plast				
5.0 UDS-2										1.98	16.2		
5.0 SPT-4	gray silty sand med.dense (SP)		21										
7.5 SPT-5			28	15	85	0	0	non	plast				
9.0 SPT-6	dense sandy silt (ML)		37	15	25	55	5	28	18				
10.0 UDS-3													
12.0 SPT-7	(SP)		48	10	90	0	0	non	plast				
15.0 SPT-8	dense gray silty sand		44	17	70	13	0	non	plast				

SP- sand with little or no fines, SM- silty sand, non-plastic nature, ML- sandy silt, slightly plastic,
 ML-CL- fine sandy silt/ silty fine sand, slight to medium plastic, CL- fine sandy silt/silt, low to med plastic

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PROJECT
Soil Investigation --
School Building

Location: KHASRA NO. 993CHH, VILLAGE DASNA, GHAZIABAD

Method shell & auger method
Borehole dia. 100-150mm
Borehole No. 02
Termination depth 15m
Water table level 8.0m

DEPTH (m)	Sample	SOIL DESCRIPTION	Legend	SPT "N" Values	PARTICLE- GRADATION				LIMITS		Natural density gm/cc	Natural Water Content %	SHEAR TESTS	
					Gra- vel %	Sand %	Silt %	Clay %	liquid %	plastic %			Cohesion kg/cm ²	Phi degree
0														
1.5	SPT-1	brownish yellow sandy silt (ML)		11	5	35	54	6	28	18	1.58	6.3		
2.0	UDS-1													
3.0	SPT-2	med.dense sandy silt		13	5	36	55	4						
4.5	SPT-3	silty sand (SP)		15	9	85	6	0	non	plast	1.76	8.8	0.05	30
5.0	UDS-2													
6.0	SPT-4	yellow silty sand med.dense (SM)		23	13	55	32	0	non	plast				
7.5	SPT-5			25										
9.0	SPT-6	med dense sandy silt		29	13	27	53	7	32	20	1.90	16.0		
10.0	UDS-3	(ML) Dense silty sand (SM)		40	15	55	30	0	non	plast	2.02	16.0	0.06	33
12.0	SPT-7													
14.0	UDS-4	(SP)												
15.0	SPT-8	dense gray sand		54	15	80	5	0	non	plast				

SP- sand with little or no fines, SM- silty sand, non-plastic nature, ML- sandy silt, slightly plastic,
ML-CL - fine sandy silt/ silty fine sand, slight to medium plastic, CL- fine sandy silt/silt, low to med plastic

Project :

2289

Sheet :

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24-8-2021

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Second Party	: DELCY EDUCATION PVT LTD
Stamp Duty Paid By	: DELCY EDUCATION PVT LTD
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der-1st, Ghaziabad

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Prem Kumar Santosh Kumar

Elis Doyal

Authorized Signatory
Delcy Education Private Ltd

Mahesh Doyal

Manager
Siddhantam Heritage School

Mahesh

PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL
KC 0004095551

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विक्रय पत्र अंकन-5,64,30,000/-रूपये का :-

स्टाम्प ड्यूटी कलैक्टर द्वारा निर्धारित दर के अनुसार अंकन 5,85,27,000/-रूपये पर अदा की गयी है।

स्टाम्प ड्यूटी शासनादेश/अधिसूचना संख्या-वि०क०नि०-5-2756/11-2008-500 (1165)/2007 लखनऊ दिनांक 30-06-2008 ई० के अनुसार शेड्यूल 1बी के अनुच्छेद 23 के खण्ड क (1) के आधार पर अदा की गयी है।

स्टाम्प अंकन 40,97,100/-रूपये का :-

- 1- भूमि का प्रकार- शिक्षण संस्थान/कृषि हेतु।
- 2- वार्ड परगना- डासना (वी कोड)
- 3- मौहल्ला/ग्राम- डासना (अध्यात्मिक नगर) परगना डासना तहसील व जिला गाजियाबाद।
- 4- विक्रय प्लॉट का विवरण- एक किता खाली भूमि क्षेत्रफल 0.41805 हैक्टेयर अर्थात 5000 वर्ग गज यानि 4180.5 वर्ग मीटर, निम्न सीमा सम्बन्धित खसरा नम्बर-993छ, स्थित ग्राम डासना (अध्यात्मिक नगर) परगना डासना तहसील व जिला गाजियाबाद, जो इस विक्रय पत्र के आधार पर विक्रय किया जा रहा है।
- 5- कलैक्टर द्वारा निर्धारित भूमि की दर - 10,000/-रूपये प्रति वर्ग मीटर है।
चूंकि उपरोक्त वर्णित भूमि 60 फुट चौड़े रास्ते से अधिक रास्ते पर है इसलिए विक्रय भूमि की दर अंकन 14,000/-रूपये प्रति वर्ग मीटर के अनुसार अदा की गयी है।
- 6- विक्रय भूमि पार्क फेसिंग नहीं है। विक्रय भूमि दो रास्तों पर नहीं है।
- 7- पेड़ों का मूल्यांकन :- विक्रय सम्पत्ति में मौजूद नहीं हैं।
- 8- बोरिंग/कुआं/अन्य :- विक्रय सम्पत्ति में मौजूद नहीं हैं।
- 9- प्रतिफल की धनराशि - 5,64,30,000/-रूपये

Prem Kumar

Forest Officer

Elis Daya

Authorized Signatory

Deity Education Private Limited

Manoj Dayal
Manager
Siddhantam Heritage School

Manoj
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

वही सं: 1

रजिस्ट्रेशन सं: 6366

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एलिना दयाल अधिकृत
पदाधिकारी/ प्रतिनिधि

ने यह लेखपत्र इस कार्यालय में दिनांक 24/08/2021

एवं 12:33:38 PM बजे

निबंधन हेतु पेश किया।

रजिस्ट्रीकरण अधिकारी

संजीव कुमार गौतम

उप निबंधक : सदर

गाजियाबाद

24/08/2021

B. Ratan

भीम . रतन

निबंधक लिपिक



Principal
Siddhantam Heritage School

Manu Dyal

Manager
Siddhantam Heritage School

Manu Dyal
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

उक्त भूमि शिक्षण संस्थान हेतु क्रय की जा रही है। उपरोक्त प्लॉट का पूर्व में दोनों पक्षों के मध्य कोई इकरार नामा महायदाबय पंजीकृत नहीं हुआ है। विक्रय भूमि मुख्य मार्ग के मध्य बिन्दू से 200 मीटर से अधिक दूरी पर स्थित है। विक्रय भूमि ग्राम समाज, पट्टे व भूदान आदि की नहीं है।

सीमा उक्त विक्रय प्लॉट :-

पूरब- भूमि विक्रेता,	भुजा 360 फुट,
पश्चिम- भूमि रामचमेली चड्ढा विश्वास गर्ल्स कॉलिज,	भुजा 360 फुट,
उत्तर- रास्ता 70 फुट चौड़ा,	भुजा 140 फुट चौड़ा,
दक्षिण- भूमि विक्रेता,	भुजा 110 फुट चौड़ा,

हम कि श्री प्रेम कुमार व श्री सन्तोष कुमार पुत्रगण श्री हिजहोली उर्फ राम गुरदास कपूर निवासी अध्यात्मिक नगर, डासना, गाजियाबाद प्रथम पक्ष विक्रेता।

पेन नम्बर - श्री प्रेम कुमार - ACMPK8501E - आधार कार्ड नम्बर- 5232 1534 2791

पेन नम्बर - श्री सन्तोष कुमार - ADPPK1274N - आधार कार्ड नम्बर- 2699 9458 4346

Prem Kumar

Santosh Kumar

Shri Dajal

Authorized Signatory
Devy Education Private Limited

Manoj Dajal

Manager
Siddhantam Heritage School



GOYAL
Advocate
Ch. No. 43, Tehsil Compound,
Ghaziabad, M:-9971970098

PR
SIB
AM HERITAGE SCHOOL

बही सं०: 1 रजिस्ट्रेशन सं०: 6366

निष्पादन लेखपत्र वाद सुनने व समझने मजमुन व प्राप्त धनराशि रु प्रलेखानुसार उक्त

विक्रेता: 1

श्री प्रेम कुमार, पुत्र श्री हिजहोली उर्फ राम गुरदास कपूर

निवासी: निवासी अध्यात्मिक नगर डासना गाज़ियाबाद

व्यवसाय: अन्य

विक्रेता: 2

Prem Kumar



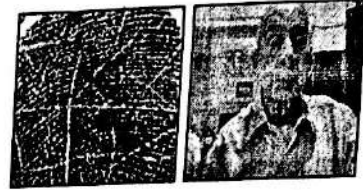
श्री सन्तोष कुमार, पुत्र श्री हिजहोली उर्फ राम गुरदास कपूर

निवासी: निवासी अध्यात्मिक नगर डासना गाज़ियाबाद

व्यवसाय: अन्य

विक्रेता: 1

Santosh Kumar



श्रीमती डेलसीएजुकेशन प्रा०लि० के द्वारा एलिना दयाल ,
पत्नी श्री राहुल दयाल

निवासी: डी-33, यू फ्लेक्स, सेक्टर-6, नॉएडा जिला गौतमबुद्ध
नगर

व्यवसाय: अन्य

Shree Dayal



ने निष्पादन स्वीकार किया। निम्नकी पहचान

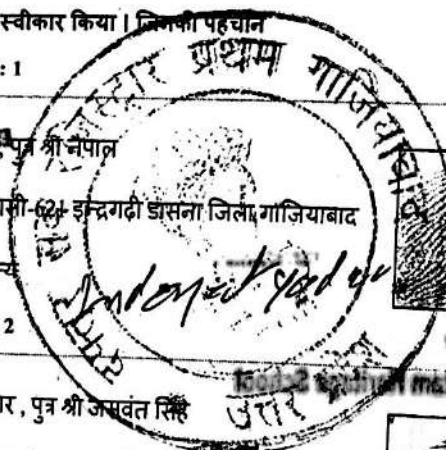
पहचानकर्ता: 1

श्री अंशुल कुमार, पुत्र श्री जसवंत सिंह

निवासी: निवासी-624 इन्द्रगढ़ी डासना जिला गाज़ियाबाद

व्यवसाय: अन्य

पहचानकर्ता: 2



श्री अंशुल कुमार, पुत्र श्री जसवंत सिंह

निवासी: सी-603 सेक्टर-19 नॉएडा गौतमबुद्ध नगर

व्यवसाय: अन्य



ने की। प्रत्यक्षतः भद्र साक्षियों के निशान अंगूठे नियमानुसार
लिपि गए है।

दिनांक

रजिस्ट्रीकरण अधिकारी के हस्ताक्षर

Jata Dayal

Manager
Siddhantam Heritage School

PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

संजीव कुमार गौतम, प्रभारी
उप निबंधक : सदर प्रथम
गाज़ियाबाद
Sanjiv Kumar
श्रीम. रतन

एवम्

डेलसी एजुकेशन प्रा० लि०, (DELKY EDUCATION PVT. LTD. - PAN - AAHCD6082D - CIN No. U 80900UP 2020 PTC 125476) रजिस्टर्ड ऑफिस - डी-33, सैक्टर-61, नौएडा जिला गौतमबुद्धनगर द्वारा डायरेक्टर श्रीमती एलिना दयाल पत्नी श्री राहुल दयाल निवासी डी-33, यू फ्लैक्स, सैक्टर-61, नौएडा जिला गौतमबुद्धनगर द्वितीय पक्ष क्रेता।

पेन नम्बर- श्रीमती एलिना दयाल - AIDPD5419K

आधार कार्ड नम्बर- श्रीमती एलिना दयाल - 2954 2576 9577

विदित हो कि एक किता खाली भूमि क्षेत्रफल 0.41805 हैक्टेयर अर्थात 5000 वर्ग गज यानि 4180.5 वर्ग मीटर, निम्न सीमा सम्बन्धित खसरा नम्बर-9938, स्थित ग्राम डासना परगना डासना तहसील व जिला गाजियाबाद, जो इस विक्रय पत्र के आधार पर विक्रय किया जा रहा है के प्रथम पक्ष विक्रेता उक्त मालिक काबिज व संक्रमणीय भूमिधर हैं। डेलसी एजुकेशन प्रा० लि०, उक्त की ओर से मुझ निष्पादिका एलिना दयाल को उपरोक्त वर्णित भूमि को बहैसियत डायरेक्टर बजरिये रेजूलेशन मीटिंग बोर्ड ऑफ डायरेक्टर्स दिनांक

Prem Kumar

Prem Kumar

Elina Dayal

Authorized Signatory

Delcy Education Private Limited

Mahesh Dayal

Manager
Siddhantam Heritage School

Heritage School

Deepu
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL



ANKIT

Ch. No. 43, Tehsil Compound,
Ghaziabad, M:-9971970098

18-08-2021 के आधार पर क्रय आदि करने का पूर्ण अधिकार है और उक्त रेजूलेशन आज दिन तक बदस्तूर कायम है। उक्त विक्रय भूमि आज दिन तक प्रथम पक्ष विक्रेता की ओर से हर प्रकार के बंधक भार व सरकारी देनदारी व अन्य लौन आदि से मुक्त है कही अन्य जगह आड रहन बय हिदै महायदाबय आदि में ग्रस्त नही है मिलकियत विक्रेता में कोई दोष व त्रुटि नही है हर प्रकार के वाद विवाद से मुक्त है। अतः प्रथम पक्ष विक्रेता ने उपरोक्त विक्रय भूमि को अपने तमाम हकूक मालकाना दाखली व खारजी हर किसम मये कब्जा आदि को अपनी खुशी व रजामन्दी से आज की तारीख में बदले अंकन-5,64,30,000/-रूपये (पाँच करोड

Prem Kumar
Prem Kumar

Elis Dayal
Authorized Signatory
Doby Education Private Limited

Abul Dayal
Manager
Siddhantam Heritage School

Abul
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL



Dayal
ANKIT G
Advocate
Ch. No. 43, Tehsil Compound,
Ghaziabad, M:-9971970098

चौंसठ लाख तीस हजार रुपये) आधे जिसके अंकन 2,82,15,000/-रुपये होते हैं, में बहक क्रेता के बय कतई कर दिया और बेच दिया और कुल धनराशी क्रेता से निम्न प्रकार वसूल पा ली, जिसका विवरण इस विक्रय पत्र के अन्त में दिया गया है। बाबत मूल्यधन प्रथम पक्ष विक्रेता का द्वितीय पक्ष क्रेता पर कुछ बाकी नहीं रहा है और न कभी होगा। अब इकरार यह है कि विक्रय भूमि की मिलकियत व उसके मूल्यधन तथा किसी अंग से विक्रेता व वारसान विक्रेता का कोई सम्बन्ध किसी प्रकार का बाकी नहीं रहा है और न कभी होगा। कब्जा मौके पर विक्रय भूमि पर द्वितीय पक्ष क्रेता का वास्तविक रूप से करा दिया है, जिसकी वो पूर्णतः स्वामी बन गयी हैं। जिससे क्रेता

Prem Kumar

Shree Prem

Elvis Doyal

Authorized Signatory
Delcy Education Private Limited

Nishi Doyal

Manager
Siddhantam Heritage School

PRINCIPAL *Deep*
SIDDHANTAM HERITAGE SCHOOL

पूर्ण रूप से सहमत हैं। इस प्लॉट के कब्जे की बावत विक्रेता की कोई जिम्मेदारी भविष्य में नहीं होगी। अब द्वितीय पक्ष क्रेता को सर्वथा अधिकार है कि विक्रय भूमि को जिस प्रकार चाहे बहैसियत मालकाना प्रयोग में लाकर लाभ उठावें। मानचित्र स्वीकृत करावे, निर्माण करें, स्वयं रहे, दूसरों को रखे विक्रय, दान व रहन आदि करें। सरकारी कागजों में द्वितीय पक्ष क्रेता अपना नाम स्वयं इस विक्रय पत्र के आधार पर दर्ज करा लें। यदि प्रथम पक्ष विक्रेता के अनाधिकार से या विक्रेता व वारसान विक्रेता की दावेदारी से विक्रय भूमि कुल अथवा उसका कोई अंश क्रेता के कब्जे मालकाना से निकल जावेगा तो हर ऐसी दशा के उपस्थित होने पर क्रेता को पूर्ण अधिकार होगा कि

Prem Kumar

Just Sun

Elis Dayal
Authorized Signatory
Delcy Education Private Limited

Manoj Dayal
Manager
Siddhantam Heritage School

Praveen
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

अपने कब्जे से निकल जाने वाली भूमि की धनराशी को मये सूद कानूनी न्यायालय द्वारा मये हरजे खरचे प्रथम पक्ष विक्रेता व वारसान विक्रेता की चल अचल सम्पत्ति से जिस प्रकार चाहे वसूल कर ले। आस-पास का भाव कम है, जिस पर नियमानुसार स्टाम्प ड्यूटी अदा की गयी है। उपरोक्त भूमि गाजियाबाद विकास प्राधिकरण के मास्टर प्लान के अनुसार शिक्षण संस्थान हेतु आरक्षित है व शिक्षण संस्थान हेतु विक्रय है। अगर बवजह बेइस्तहकाकी विक्रेता के या दावेदारी मेरे किसी सहिम व शरीक के विक्रय भूमि कब्जे या अधिकार क्रेता से निकल जावेगा तो हर ऐसी दशा के उपस्थित होने पर मे विक्रेतागण समस्त विक्रय धन की वापिसी का मय हर्जे खर्चे सूद कानूनी से हिसाब के जिम्मेदार रहेंगे। विक्रय पत्र का समस्त व्यय द्वितीय पक्ष क्रेता ने वहन किया है। बैनामा लेखक/एडवोकेट ने उपरोक्त विक्रय भूमि का मौका मुआयना नहीं किया गया है। उपरोक्त विक्रय पत्र का मसौदा प्रथम पक्ष विक्रेता एवं द्वितीय पक्ष क्रेता के कथनानुसार तैयार किया गया है।

Drum kuma

Drum kuma

Elis Dayal

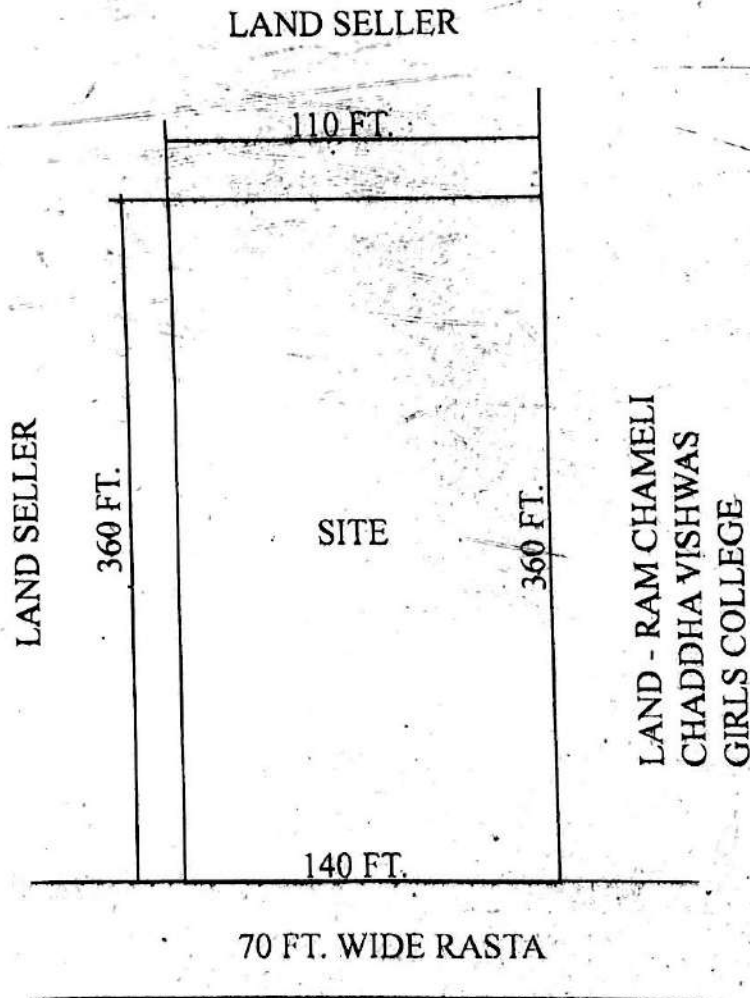
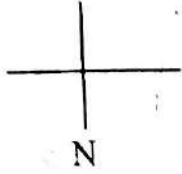
Authorized Signatory
Deity Education Private Limited

Manu Dayal
Manager
Siddhantam Heritage School

Manu
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

SITE PLAN OF LAND ON KHASRA NO.- 993 CHH.
VILLAGE - DASNA (ADHYATMIK NAGAR)
PARGANA - DASNA, TEHSIL & DISTT. - GHAZIABAD (U.P.)

AREA- 0.41805 HECT. 5000.00 SQ. YD. 4180.5 SQ.MT



Manoj Nayal
Manager
Siddhantam Heritage School

PRINCIPAL *Manoj Nayal*
SIDDHANTAM HERITAGE SCHOOL

Manoj Nayal
Authorized Signatory
Delcy Education Private Limited

Manoj Nayal
FIRST PARTY SIGN.

SECOND PARTY SIGN.

Manoj Nayal
SIDDHANTAM HERITAGE SCHOOL

पानाचत्र प्रलख स. 6366/2021
के साथ प्रस्तुत किया।

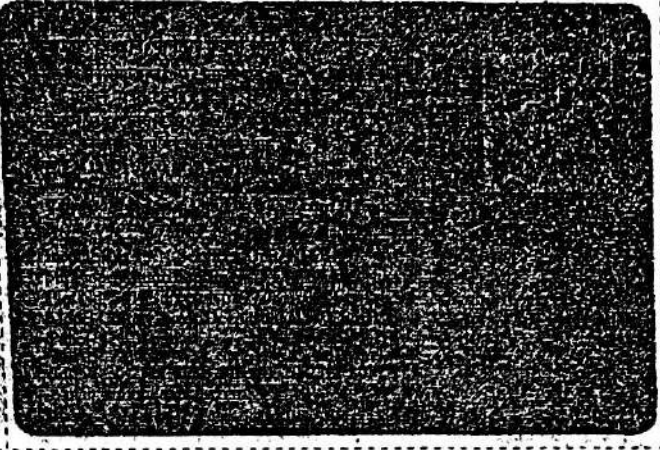
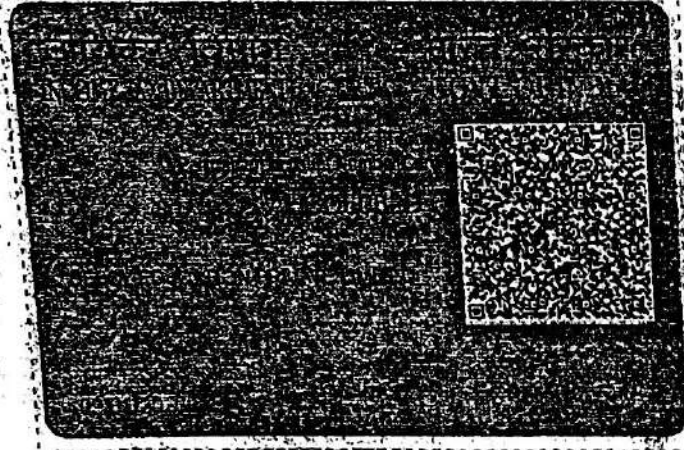
सं०२०५ (प्रथम)
गातिगोखार

Manoj Daga

Manager
Siddhanam Heritage School



Dr. Arun



एलीना दयाल
 Elina Daya
 जन्म तिथि : DOB: 26/12/1959
 महिला / Female



2954 2576 9577

आधार - आम आदमी का अधिकार

UNION OF INDIA Driving Licence (UP) (N)

UP16-20090554262

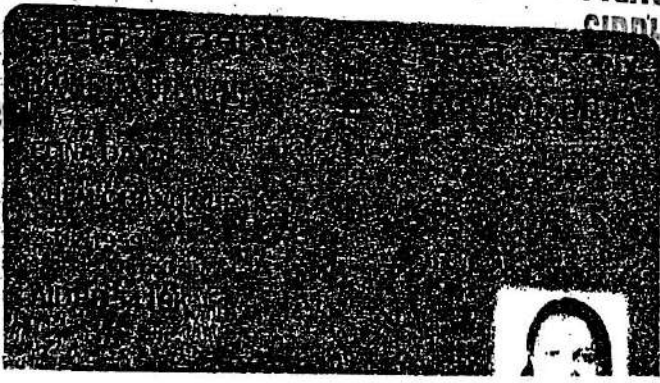
पारी करने की तिथि Date of Issue	31/05/2009	वैधता तिथि Valid till	28/05/2029
जन्म तिथि Date of Birth	31/08/1990	रक्त समूह Blood Group	B+

ANSUL KUMAR
 प्रमुख / प्रिंसिपल / सीनियर / विस...
 ANSANT SINGH

APLICAT

Elina Daya

Manager
 Siddhantam Heritage Sc



PRINCIPAL
 SIDDHANTAM HERITAGE SCHOOL

Elina Daya

UP16 20090534262

UP01261055M

LMV 29/05/2009 MCWG 29/05/2009

Address: C-603 SEC-10 NOIDA G.B. NAGAR

Holder's Signature

Issuing Authority Sign: GAUTAM BUDDH NAGAR



पता: [Redacted] उत्तर प्रदेश
Address: W/O-Rahul Dayal, D-33, U Flex Sector - 61, Noida, Gautam Buddha Nagar, Noida, Uttar Pradesh, 201301

2954 2576 9577

1847 1800 300 1947

help@uidai.gov.in

www.uidai.gov.in

Rahul Dayal

Manager Siddhantam Heritage School

PRINCIPAL SIDDHANTAM HERITAGE SCHOOL

DEL CY EDUCATION PRIVATE LIMITED

Regd. Office: 33, Block D, Sector-61, Noida, Gautam Buddha Nagar, Uttar Pradesh: 201307, India
Phone No. 9810405155 | CIN: U80900UP2020PTC125476 | Email Id: elinadayal@gmail.com

CERTIFIED TRUE COPY OF THE RESOLUTION PASSED AT THE MEETING OF THE BOARD OF DIRECTORS OF DELCY EDUCATION PRIVATE LIMITED HELD ON WEDNESDAY, THE 18TH DAY OF AUGUST, 2021 AT THE REGISTERED OFFICE OF THE COMPANY SITUATED AT 33, BLOCK D, SECTOR-61 NOIDA, GAUTAM BUDDHA NAGAR UTTAR PRADESH-201307, INDIA, AT 09:00 A.M.

REGISTRATION OF LAND SITUATED AT KHASRA NO. 993⁵ VILLAGE DASNA, PARGANA, GHAZIABAD, 201015, INDIA

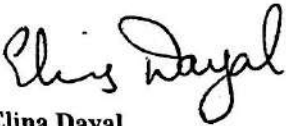
"RESOLVED THAT consent of the Board of Directors of the Company be and is hereby accorded to apply for Registration of Land Situated at Khasra No. 993⁵, Village Dasna, Pargana, Ghaziabad - 201015, India admeasuring 4,180 Square meter with the Tehsildar of the District, SDM, Department of Revenue and any other Government Department as may be required for registering the said land.

RESOLVED FURTHER THAT Ms. Elina Dayal, Directors of the Company is hereby severally authorized to sign, execute and submit the various applications, forms and documents with the requisite Government departments and to make the necessary corrections and modifications and to do all such acts, things that are necessary, incidental and auxiliary to the aforesaid resolution and to represent the Company before the Requisite Government Department."

RESOLVED FURTHER THAT Ms. Elina Dayal, Directors of the Company is hereby authorized to sign and execute all forms, documents, returns, invoices and other papers as may be required under the Rules by respective Government Authorities on behalf of the Company.

RESOLVED FURTHER THAT a certified true copy of the aforesaid resolution, duly certified to be true by any of the directors of the Company be given to the appropriate authorities with a request to act thereupon."

Certified True Copy
For Delcy Education Private Limited



Elina Dayal
(Director)
DIN: 07574295
Address: D-33, Block D,
Sector-61, Noida,
Uttar Pradesh-201307, India



Manager
Siddhantam Heritage School



PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

DEL CY EDUCATION PRIVATE LIMITED

Regd. Office: 33, Block D, Sector-61, Noida, Gautam Buddha Nagar, Uttar Pradesh: 201307, India
Phone No. 9810405155 | CIN: U80900UP2020PTC1254761 Email Id: elinadayal@gmail.com

CERTIFIED TRUE COPY OF THE RESOLUTION PASSED AT THE MEETING OF THE BOARD OF DIRECTORS OF DELCY EDUCATION PRIVATE LIMITED HELD ON WEDNESDAY, THE 18TH DAY OF AUGUST, 2021 AT THE REGISTERED OFFICE OF THE COMPANY SITUATED AT 33, BLOCK D, SECTOR-61 NOIDA, GAUTAM BUDDHA NAGAR UTTAR PRADESH-201307, INDIA, AT 09:00 A.M.

REGISTRATION OF LAND SITUATED AT KHASRA NO. 993⁹ VILLAGE DASNA, PARGANA, GHAZIABAD, 201015, INDIA

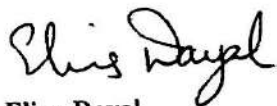
“RESOLVED THAT consent of the Board of Directors of the Company be and is hereby accorded to apply for Registration of Land Situated at Khasra No. 993⁹, Village Dasna, Pargana, Ghaziabad - 201015, India admeasuring 4,180 Square meter with the Tehsildar of the District, SDM, Department of Revenue and any other Government Department as may be required for registering the said land.

RESOLVED FURTHER THAT Mr. Rahul Dayal and Ms. Elina Dayal, Directors of the Company be and are hereby severally authorized to sign, execute and submit the various applications, forms and documents with the requisite Government departments and to make the necessary corrections and modifications and to do all such acts, things that are necessary, incidental and auxiliary to the aforesaid resolution and to represent the Company before the Requisite Government Department.”

RESOLVED FURTHER THAT Mr. Rahul Dayal and Ms. Elina Dayal, Directors of the Company be and are hereby severally authorized to sign and execute all forms, documents, returns, invoices and other papers as may be required under the Rules by respective Government Authorities on behalf of the Company.

RESOLVED FURTHER THAT a certified true copy of the aforesaid resolution, duly certified to be true by any of the directors of the Company be given to the appropriate authorities with a request to act thereupon.”

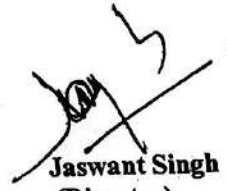
Certified True Copy
For Delcy Education Private Limited



Elina Dayal
(Director)
DIN: 07574295
Address: D-33, Block D,
Sector-61, Noida,
Uttar Pradesh-201307, India



Rahul Dayal
(Director)
DIN: 07574296
Address: D-33, Block D,
Sector-61, Noida,
Uttar Pradesh-201307, India



Jaswant Singh
(Director)
DIN:01013852
Address: C-603,
Sector-19, Noida,
Uttar Pradesh-201301, India



Manish Kumar
(DIRECTOR)
DIN: 01013791
Address: Flat No.408, Tower No. KM-42,
Kosmos Jaypee Greens, Wish Town,
Sector-134, Noida, Gautam Buddha Nagar,
Uttar Pradesh-201304, India


Manager
Siddhantam Heritage School


PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

अतः यह विक्रय पत्र लिख दिया कि प्रमाण रहे ओर समय पर काम आवें इति-
विवरण वसुलयाबी कुल धनराशी का- प्रथम पक्ष असल विक्रेता ने द्वितीय पक्ष क्रेता से अंकन
25,00,000/-रूपये चैक नम्बर-595189 दिनांक 02-08-2021 ई0 एक्सिज बैंक, नौएडा द्वारा व
अंकन 25,00,000/-रूपये चैक नम्बर-595190 दिनांक 02-08-2021 ई0 एक्सिज बैंक, नौएडा द्वारा
व अंकन 2,54,32,850/-रूपये डी.डी.नम्बर-573878 दिनांक 21-08-2021 ई0 आई.सी.आई.सी.
आई.बैंक द्वारा व अंकन 2,54,32,850/-रूपये डी.डी.नम्बर-573879 दिनांक 21-08-2021 ई0
आई.सी.आई.सी.आई.बैंक द्वारा वसूल पा लिए हैं। व अंकन 2,82,150/-रूपये टी.डी.एस.के रूप मे
चालान नम्बर-00926 दिनांक 21-08-2021 ई0 व अंकन 2,82,150/-रूपये टी.डी.एस.के रूप मे
चालान नम्बर-1038 दिनांक 21-08-2021 ई0 द्वारा समायोजित किए गए।

[Handwritten Signature]

Elis Doyal
Authorized Signatory
Delcy Education Private Limited

[Handwritten Signature]

[Handwritten Signature]
Manager
Siddhantam Heritage School

[Handwritten Signature]
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL



2nd

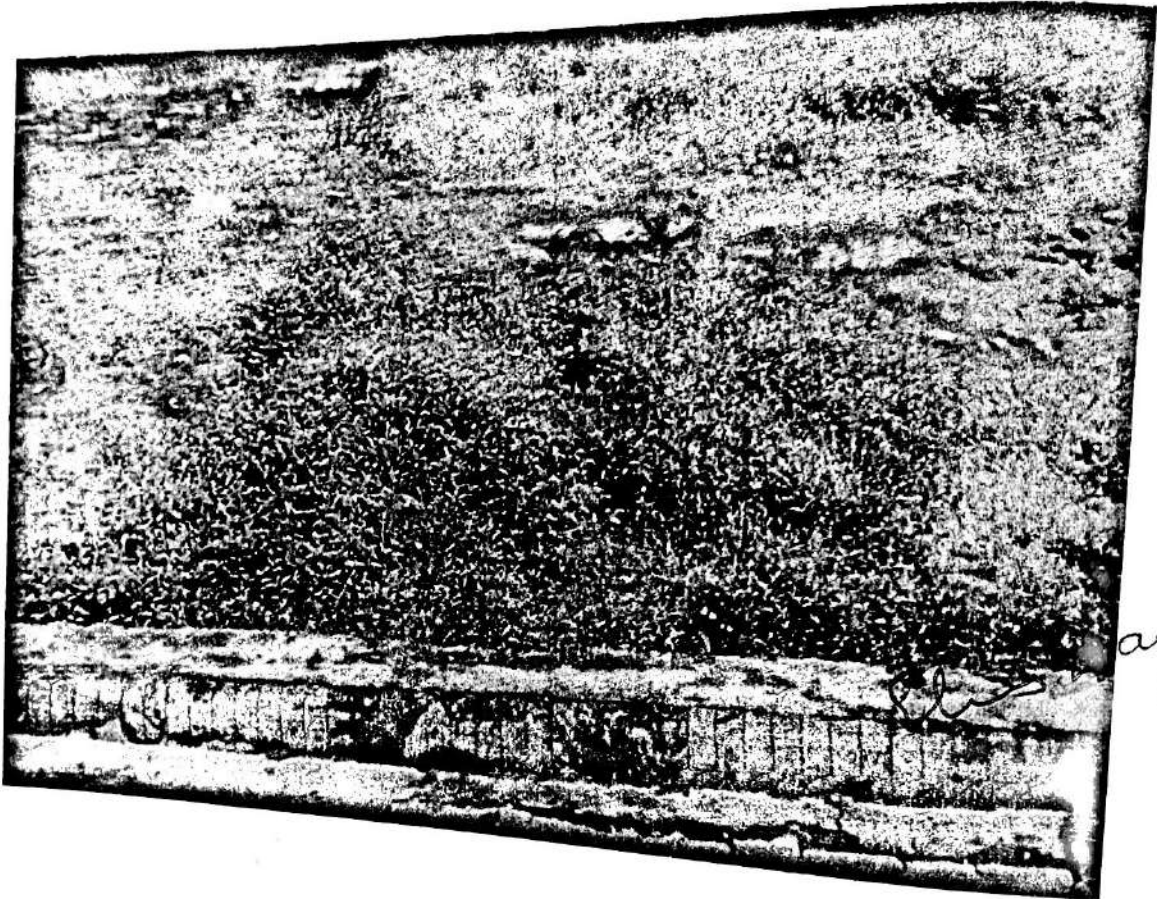
GOYAL
Advocate

Ch. No. 43, Tehsil Compound,
Ghaziabad, M:-9971970098



GOYAL
Advocate

Ch. No. 43, Tehsil Compound,
Ghaziabad, M:-9971970098



ayal

Mani Day

Manager
Siddhantam Heritage School



Siddhantam Heritage School

East *Prave* *Shri Dayal*

Authorized Signatory

Delcy Education Private Limited

.....
Prave *Prave*

गवाह नं.1 *Indrajit Yadav*

श्री इन्द्रजीत पुत्र श्री नेपाल निवासी 621, इन्द्रगढी, डासना, गाजियाबाद।

आधार कार्ड नम्बर-6198 6115 7080

गवाह नं.2

श्री अंशुल कुमार पुत्र श्री जसवन्त सिंह निवासी सी-603, सैक्टर-19, नौएडा जिला गौतमबुद्धनगर।

डी.एल.नम्बर- UP 1620090554262

[Signature]

PRINCIPAL *Prave*
SIDDHANTAM HERITAGE SCHOOL

Prave Dayal
Manager
Siddhantam Heritage School

दिनांक 24-08-2021 ई0 मसौदा अंकित गोयल, एडवोकेट, चैम्बर नम्बर-43, तहसील कम्पाउण्ड, गाजियाबाद।

[Signature]
ANKIT GOYAL
Advocate

Ch. No. 43, Tehsil Compound,
Ghaziabad, M:-9971970098


24/08/2021

आवेदन सं०: 202100739090393

बही संख्या 1 जिल्द संख्या 18262 के पृष्ठ 223 से 248 तक क्रमांक 6366 पर दिनांक 24/08/2021 को रजिस्ट्रीकृत किया गया।

राज्य सरकार
उत्तर प्रदेश

रजिस्ट्रीकरण अधिकारी


संजीव कुमार गौतम

उप निबंधक : सदर

गाजियाबाद
24/08/2021




Manager
Siddhantam Heritage School


PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

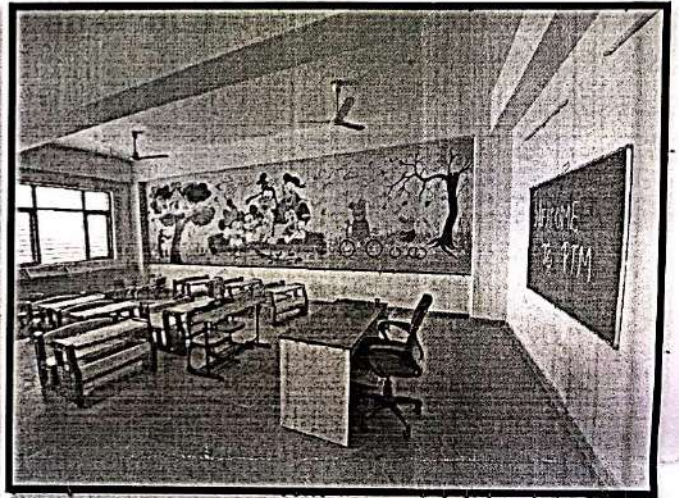
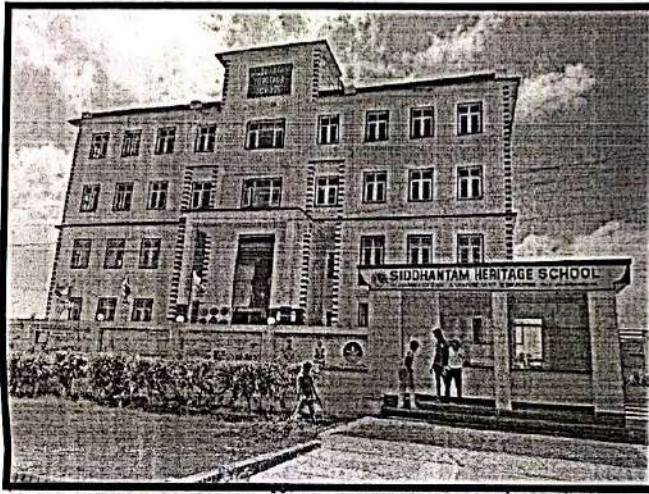
Office of Assistant Engineer, Rural Engineering Department, Ghaziabad.

Letter No.:- 875/RED/2024-25/NBC/ Dated:- 09/08/24


CERTIFICATE

In the compliance of letter no. 985 dated 06.05.2024 CDO office. It is certified that the property i.e. School Building situated at Khasra No. 993 Village Dasna Dehat, Ghaziabad belongs to Siddhantam Heritage School, Khasra No. 993 Village Dasna Dehat, Ghaziabad and running by the name Siddhantam Heritage School, Ghaziabad.

1. Certified that the building conforms to the requirement of relevant Indian Standard Codes and National Building Codes 2005 in respect of building by laws and structural safety in general and national hazards including earthquake in particular.
2. Certified that the overall building is fit and safe for use of educational activities as per the inspection carried out on 05.08.2024 and relevant documents/Plan produced.




Note: This certificate is issued base on the documents shared by Siddhantam Heritage School, Khasra No. 993 Village Dasna Dehat, Ghaziabad authority. In case any documents found false/incorrect, this certificate will stand invalid.


Assistant Engineer
Rural Engineering Department
Division-Ghaziabad (U.P.)

Copy to:-

1-DM office, Collectorate Ghaziabad.

2-Executive Engineer, Rural Engineering Department, Division-Ghaziabad.


Assistant Engineer
Rural Engineering Department
Division-Ghaziabad (U.P.)

कार्यालय 110 जिला पंचायत
पत्रांक:- /नक्शा/जि०पं०गा०/2023-24

गाजियाबाद।
दिनांक:- 28/5/24

पूर्णता प्रमाण-पत्र

विषय-मै० डैल्सी एजुकेशनल प्रा० लि० सी-33, सैक्टर 61 गौतमबुद्धनगर ग्राम डासना देहात के खसरा संख्या 993 में **Educational Building** के पूर्णता प्रमाण पत्र के सम्बन्ध में।

प्रमाणित किया जाता है कि डैल्सी एजुकेशनल प्रा० लि० सी-33, सैक्टर 61 गौतमबुद्धनगर ग्राम डासना देहात के खसरा संख्या 993 में **Educational Building** मानचित्र अनुसार कुल क्षेत्रफल 6371.75 वर्ग मी० में ही निर्माण कराया जा चुका है।
उक्त निर्माण कार्य जिला पंचायत गाजियाबाद द्वारा पत्र संख्या 423/नक्शा/जि०पं०गा०/2020-21 दिनांक 18.08.2022 द्वारा प्रदत्त अनुज्ञा पत्र के प्रतिबन्धों के अनुरूप किया गया है।

अपर मुख्य अधिकारी
जिला पंचायत, गाजियाबाद।
तददिनांक:-

पृष्ठांकन सं०:- /नक्शा/जि०पं०गा०/2023-24

प्रतिलिपि-1. सम्बन्धित नक्शा मालिक, गाजियाबाद।

2. अवर अभियंता, जिला पंचायत गाजियाबाद को इस आशय के साथ की नियमानुसार कार्यवाही करें।

अपर मुख्य अधिकारी
जिला पंचायत, गाजियाबाद।

प्रारूप-घ (संलग्नक-3) औपबन्धिक (प्रोविजनल) अनापत्ति प्रमाणपत्र

यूआईडी संख्या: UPFS/2022/43476/GZB/GHAZIABAD/3062/CFO

दिनांक: 24-01-2022

प्रमाणित किया जाता है कि मैसर्स **DELCY EDUCATION PRIVATE LIMITED** (भवन/प्रतिष्ठान का नाम) पता **PROPOSED SCHOOL BUILDING .T KHASRA No. 993CHH,VILLAGE-DASNA,GHAZIABAD** तहसील - **GHAZIABAD** प्लॉट एरिया **4180.50 sq.mt** (वर्गमीटर), कुल कवर्ड एरिया **6404.61** (वर्गमीटर), ब्लॉकों की संख्या **1** जिसमें

ब्लॉक/टावर	प्रत्येक ब्लॉक में तलों की संख्या	बेसमेन्ट की संख्या	ऊँचाई
SCHOOL BUILDING	4	1	14.85 mt.

है। भवन का अधिभोग मैसर्स **DELCY EDUCATION PRIVATE LIMITED** द्वारा किया जायेगा। इनके द्वारा भवन में अग्नि निवारण एवं अग्नि सुरक्षा व्यवस्थाओं का प्राविधान एन0बी0सी0 एवं तत्संबंधी भारतीय मानक ब्यूरो के आई0एस0 के अनुसार किया गया है। इस भवन को औपबन्धिक अनापत्ति प्रमाणपत्र, एन0बी0सी0 की अधिभोग श्रेणी **Educational** के अन्तर्गत इस शर्त के साथ निर्गत किया जा रहा है कि प्रस्तावित भवन में अधिभोग श्रेणी के अनुसार सभी अग्निशमन व्यवस्थाओं के मानकों का अनुपालन पूर्ण रूप से किया जायेगा तथा भवन के निर्माण के पश्चात भवन के अधिभोग से पूर्व अग्नि सुरक्षा प्रमाण पत्र प्राप्त किया जायेगा। ऐसा न करने पर निर्गत प्रोविजनल अनापत्ति प्रमाणपत्र स्वतः ही निरस्त मान लिया जायेगा, जिसके लिए मैसर्स **DELCY EDUCATION PRIVATE LIMITED** अधिभोगी पूर्ण रूप से जिम्मेदार होगा/होंगे।

Note : -

"यह प्रमाण-पत्र आपके द्वारा प्रस्तुत अभिलेखों, सूचनाओं के आधार पर निर्गत किया जा रहा है। इनके असत्य पाए जाने पर निर्गत प्रमाण-पत्र मान्य नहीं होगा। यह प्रमाण-पत्र भूमि / भवन के स्वामित्व / अधिभोग को प्रमाणित नहीं करता है।"

हस्ताक्षर (निर्गमन अधिकारी)
(मुख्य अग्निशमन अधिकारी)



Digitally Signed By
(SUNIL KUMAR SINGH)

[041385455087A3F51D5ACB26194051C1EABA41A4]

28-01-2022

निर्गत किये जाने का दिनांक : 28-01-2022
स्थान : GHAZIABAD

Mahesh Singh

Manager
Siddhantam Heritage School

Sunil Kumar Singh

PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

संख्या 00718/2022-2023

पत्रावली संख्या M/GBN/0049461

दिनांक 18/06/2022

प्रारूप-8
नियम 7(2) देखिये



सोसाइटी-रजिस्ट्रीकरण
का
प्रमाण-पत्र

(अधिनियम संख्या 21, 1860 के अधीन)

पंजीकरण संख्या GBN/02899/2022-2023

एतद्वारा प्रमाणित किया जाता है कि **SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY, 1504, Tower D, JM Aroma, Sector-75, Noida Gautam Buddha Nagar Uttar Pradesh, गौतम बुद्ध नगर, 201301** को आज उत्तर प्रदेश में अपनी प्रवृत्ति के संबंध में यथासंशोधित सोसाइटी रजिस्ट्रेशन अधिनियम 1860 के अधीन सम्यक रूप से रजिस्ट्रीकृत किया गया है। यह प्रमाण पत्र दिनांक **17/06/2022** तक विधिमान्य होगा। आज दिनांक **18/06/2022** को मेरे हस्ताक्षर से दिया गया।



Digitally Signed By
(varun khare)

D6C811CAFCDAAB888023F2105AC66AC93054F65D

Date: 18/06/2022 5:41:36 PM, Location: Meerut.

सोसाइटी के रजिस्ट्रार,
उत्तर प्रदेश।

Manoj Nayal
Manager
Siddhantam Heritage School

Manoj
PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

e-Stamp

Signature

ACC Name- Varun Kumar
ACC ID- UP1409890
Licence No.- 567

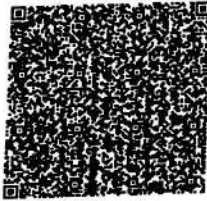
11377

Certificate No. : IN-UP53377592046304V
 Certificate Issued Date : 25-Oct-2023 05:00 PM
 Account Reference : NEWIMPACC (SV)/ up14098904/ GHAZIABAD SADAR/ UP-GZB
 Unique Document Reference : SUBIN-UPUP1409890494538757765780V
 Purchaser by : SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY
 Description of Document : Article 35 Lease
 Property Description : SITUATED AT KHATA NO.02471, KHASRA NO.953CH, VILLAGE DASNA TEHSIL AND DISTRICT GHAZIABAD UP
 Consideration Price (Rs.) :
 First Party : DELCY EDUCATION PRIVATE LIMITED
 Second Party : SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY
 Stamp Duty Paid By : SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY
 Stamp Duty Amount(Rs.) : 88,700
 (Eighty Eight Thousand Seven Hundred only)

सत्यमेव जयते

Verified By

Locked By



S.R.O.-I Ghaziabad

Sub-Registrar

Sadar-Ist, Ghaziabad

IN-UP53377592046304V

Please write or type below this line



DRAFTED BY
ADVOCATE SHIKHAR GARG



DRAFTED BY
ADVOCATE SHIKHAR GARG



Manager
Siddhantam Heritage School

Signature of Principal

PRINCIPAL For State Share Educational Technology Society
SIDDHANTAM HERITAGE SCHOOL



Authorised Signatory

JID 0014345901

Statutory Alert:

The authenticity of this Stamp certificate should be verified at 'www.shcliestamp.com' or using e-Stamp Mobile App of Stock Holding Corporation of India. The absence of the details on this Certificate and as available on the website / Mobile App renders it invalid.

DEED OF LEASE

THIS DEED OF LEASE is executed at **GHAZIABAD** on this 2 day of **October, 2023**

BY AND BETWEEN

DEL CY EDUCATION PRIVATE LIMITED, (CIN NO. U80900UP2020PTC125476) PAN NO. AAHCD6082D, a Company duly incorporated and registered and subsisting under the provisions of Indian Companies Act, 2013 and having its registered office at 33, Block D Sector-61 Noida Gautam Buddha Nagar UP 201307, India, represented herein by its duly authorized signatory **MR. JASWANT SINGH** son of Mr. ~~RAHUL SINGH~~ ^{RAHUL SINGH} aged about ~~58~~ ⁵⁸ years, hereinafter referred to as "**Lessor**" (which expression shall unless repugnant to the subject or context shall mean and include its successors, subsidiaries, affiliates and / or assigns) of the **ONE PART**;

AND

SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY (Registration No. GBN/02899/2022-2023). PAN NO.- ACAAS0326C, a Society duly formed and registered and subsisting under the provisions of Societies Registration Act, 1860 and having its registered office at 1504, Tower-E, JM Aroma, Sector-75 Gautam Buddha Nagar UP 201301, India, represented herein by its duly authorized signatory **MR. RAHUL DAYAL** son of Mr. C R DAYAL aged about 68 years, hereinafter referred to as "**Lessee**" (which expression shall unless repugnant to the subject or context shall mean and include its successors, subsidiaries, affiliates and / or assigns) of the of the **OTHER PART**.

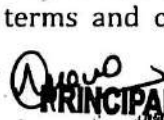

The Lessor and Lessee are hereinafter collectively referred to as "**the Parties**" and severally as "**the Party**".

WHEREAS:

- A. The Lessor has represented to the Lessee that the Lessor is the absolute and *bona fide* owner and is in lawful possession with clear, marketable title of the premises/land **SITUATED AT KHATA NO- 02471, KHASRA NO-993CH, ADMEASURING 4180.5 SQUARE METER DEMARCATED BY BUILDING _____ IN THE SOUTH, BUILDING _____ IN THE NORTH, COMPOUND _____ IN THE WEST _____ VILLAGE-DASNA, TEHSIL AND DISTRICT-GHAZIABAD (U.P)** (hereinafter referred to as the "**Schedule Premises**"), free from all encumbrances whatsoever. The Lessor is legally entitled to lease out the Schedule Premises or any portion thereof and has full and unfettered right to execute and enter into any Agreement for Lease or Lease Deed relating to the Schedule Premises or any portion thereof.
- B. That the Lessee is desirous of taking on lease the Schedule Premises from the Lessor, and has therefore approached the Lessor to lease the said Premises.
- C. Based on the representations of the Lessee, the Lessor has agreed to lease the Schedule Premises in favor of the Lessee, on the terms and conditions contained hereinafter.




Manager
Siddhanta Heritage School


PRINCIPAL For Slate Share Educational Technology Society
SIDDHANTA HERITAGE SCHOOL
 Authorised Signatory


NOW THIS LEASE DEED WITNESSTH AND IT IS HEREBY AGREED BY AND BETWEEN THE PARTIES HERETO AS FOLLOWS:

1.

LEASE

1.1 The Lessor hereby grants to the Lessee and the Lessee hereby accepts on lease from the Lessor 4180.5 Square Meter area of property situated at **KHATA NO-02471, KHASRA NO-993CH, ADMEASURING 4180.5 SQUARE METER, IN VILLAGE-DASNA, TEHSIL AND DISTRICT-GHAZIABAD (U.P) with the sole purpose for establishing, and running a senior secondary school named "SIDDHANTAM HERITAGE SCHOOL"** and activities related to school/education and social welfare of the society along with carrying on the educational activities or such other activities as it may deem fit, without any hindrance by the Lessor.

1.2 The Lessor has handed over the physical possession of premises and granted access of the Schedule Premises to the Lessee simultaneously on the signing of this Lease Deed and the Lessee may immediately commence and carry out, if required in the future, all types of construction, installations, fixations, fittings alterations, air-conditioning, cabling, ducting, flooring, and set up the school and/or college in the Schedule Premises as per its sole discretion and requirements from time to time by himself or by its subsidiary companies or associate or franchise or group of companies under the name **Slate Share Educational Technology Society** from the leased premises, and on the terms and conditions contained herein.

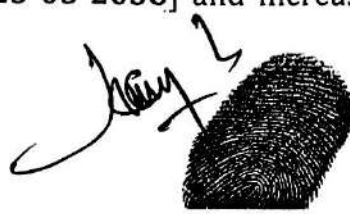
2. **LEASE TENURE:**

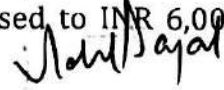
2.1 The term of this Lease Deed hereby granted by the Lessor to the Lessee with respect to the Leased Premises shall be for a period of 20 (**Twenty**) years **24-05-2023 to 23-05-2043** ("Term").

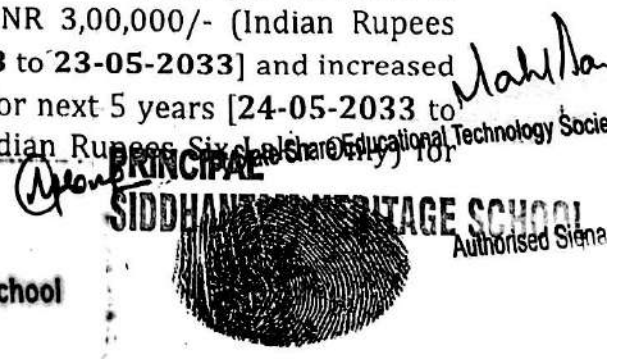
If the Lessee wishes to renew the Lease for a further period, the lessee shall inform its intention to renew the lease for such further period by way of a notice, at least 30 days in advance of the expiry of the Term and a fresh lease deed shall be executed, stamped and registered on the terms and conditions as mutually agreed between the Parties.

3. **RENT**

3.1 In consideration of the Lessor granting on lease the Schedule Premises to the Lessee, the Lessee has agreed to pay the Lessor a **Yearly rent** of INR 1,00,000/- (Indian Rupees One Lakh Only) ("**Rent**") for the first five years [24-05-2023 to 23-05-2028]. The Rent shall be increased to INR 3,00,000/- (Indian Rupees Three Lakh Only) for next five years [24-05-2028 to 23-05-2033] and increased to INR 5,00,000 (Indian Rupees Five Lakh Only) for next 5 years [24-05-2033 to 23-05-2038] and increased to INR 6,00,000 (Indian Rupees Six Lakh Only) for




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Siddhantam Heritage School


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SIDDHANTAM HERITAGE SCHOOL
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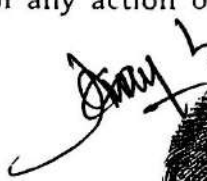

the next 5 years [24-05-2038 to 23-05-2043]. The Rent shall be payable in advance by the 10th day of each English calendar year vide Cheque/Demand Draft/Bank Transfer in favor of the Lessor.

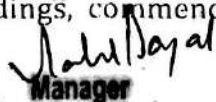
- 3.2 The Rent shall be subject to tax deductible at source. The Rent shall be inclusive of all present and future taxes (whether levied on the Lessor or the Lessee), including property taxes, municipal taxes or any other statutory taxes like property tax or change of land use fees or non-agricultural tax, that may be levied by the local bodies, State or Central Government on the Schedule Premises. Further, the Lessor shall furnish to the Lessee, the receipts towards the payment of Rent. The Lessor agrees and undertakes to complete all the registration formalities simultaneously with the execution of this Lease Deed and in any case within 30 days from the date of execution failing which the Lessee shall be entitled to withhold the Rent till the Lease Deed is registered and this will not amount to breach of Rent payment obligation of the Lessee.
- 3.3 Any claim pertaining to non-receipt of Rent and/or loss of instrument/TDS certificate shall be lodged by the Lessor within 6 months from the end of the quarter in which the obligation was due to be discharged by the Lessee. The Lessee shall not be held responsible by the Lessor for any claim made by the Lessor beyond this period.
- 3.4 The construction, alteration/additions as listed in Para 1.2 must be done with the concurrence of the Lessor.

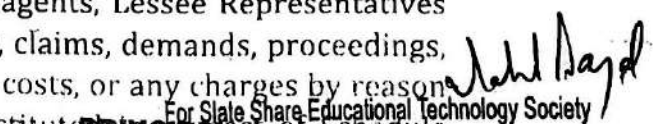

4. **DECLARATIONS AND COVENANTS OF THE PARTIES:**

That the Parties to this Lease Deed hereby represent and covenant as follows:

- 4.1 There is no impediment/s whereby the Lessor is restrained from entering into / performing its obligations under this Lease Deed. The Lessor represents and warrants that he is the legal, rightful and absolute owner of the Schedule Premises and is fully authorized and entitled to enter into this Lease Deed and grant the Schedule Premises on lease to the Lessee.
- 4.2 That the Schedule Premises is marketable and free from all restrictive covenants, lis-pendens, acquisition and requisition proceedings, minor's claims, mortgage, lien, charge, or claims or encumbrances of any other nature whatsoever as disclosed to the Lessee.
- 4.3 That the Lessor shall provide all necessary documents and extend all necessary cooperation, assistance as required by the Lessee from time to time to obtain licenses/permission from the concerned authorities to operate the school/college from the Schedule Premises. The Lessor further agree to indemnify and keep indemnified the Lessee, its directors, employees, agents, Lessee Representatives and the Third Party Contractor against all actions, claims, demands, proceedings, expenses, losses, damages, recoveries, judgments, costs, or any charges by reason of any action or proceedings, commenced or instituted or instituted by or on behalf of For State Share Educational Technology Society

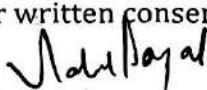

Manager
Siddharam Heritage School


PRINCIPAL

SIDDHARAM HERITAGE SCHOOL
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Premises, which may render the occupation of the Schedule Premises by the Lessee for the purposes of Business as unauthorized, unlawful and as a consequence of which the Lessee may be imposed or levied with the penalty or fines; and or may be compelled to vacate the Schedule Premises during the Term of the Lease Deed.

- 4.4 The Lessee agrees and covenants to use the Schedule Premises for the lawful purpose, as mentioned in this Lease Deed.
- 4.5 All taxes with respect to the Schedule Premises have been paid by the Lessor, till date and the Lessor does not have any liability for any past/accumulated taxes, or any interest or penalty in respect thereof, of any nature that may be assessed against Lessee or become a recoverable against the Schedule Premises.
- 4.6 The Lessee agrees and covenants not do or cause to be done anything in or upon the Schedule Premises which is or may be a source of any nuisance or annoyance to the Lessor or permit any waste, damage or injury to the Schedule Premises.
- 4.7 The Lessor shall not sell, transfer, or alienate the ownership of the Schedule Premises without providing six (6) months' prior written notice to the Lessee.
- 4.8 If the Lessor intends to mortgage, transfer, or convey all or any portion of the Schedule Premises or the land/building to a third party, or if such transfer is done by contract, operation of law, order of any court/authority, or any other obligation of the Lessor, it must be done with adherence to this Lease Deed.
- 4.9 The transferee shall recognize and accept the rights of the Lessee, and upon the completion of the transfer, the transferee shall assume all roles and responsibilities of the Lessor as stated in this Lease Deed. All rights and liabilities of the Lessor shall automatically be vested or devolved on the transferee entity.
- 4.10 The terms and conditions of this Lease Deed shall remain valid and enforceable with such transferee or third party. This clause shall be incorporated in the sale/conveyance deed or any other relevant document between the Lessor and the said third party.
- 4.11 All deposits made by the Lessee to the Lessor under this Lease Deed shall be considered deposits made to such transferee of the Schedule Premises.
- 4.12 The Lessor assures the Lessee that before transferring any part of the Schedule Premises to a third person, they shall procure from the transferee a letter of confirmation and acknowledgement, confirming the transferee's acceptance of the terms and conditions of this Lease Deed and taking over all the rights and obligations of the Lessor as stated in this Lease Deed.
- 4.13 However, notwithstanding anything stated to the contrary herein, the Lessor shall not transfer the Schedule Premise in part or whole for a period of fifteen (15) years without the prior written consent of the Lessee.





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4.14 The Lessor agrees that if for any reason the Lessee have to pay or pays any amount in respect of the said premises which is payable by the Lessors, (in law or otherwise) the Lessee shall be entitled to deduct all such payments against the monthly Leased Rent payable to the Lessors as provided herein.

5. COMPLIANCE BY THE LESSOR

5.1 The Lessor shall be solely responsible for all statutory and legal compliances related to the Schedule Premises during the Term of this Lease Deed. The Lessor shall ensure that all necessary licenses, permits, approvals, and authorizations required for the lawful use and occupation of the Schedule Premises for the purposes specified herein are obtained and maintained in force throughout the Term.

5.2 The Lessor shall also undertake the responsibility to comply with all applicable laws, regulations, and government orders, including but not limited to building regulations, fire safety regulations, environmental laws, and any other relevant statutes governing the use, construction, or occupation of the Schedule Premises.

5.3 Furthermore, the Lessor shall be responsible for timely payment of all property taxes, levies, duties, or assessments imposed by any governmental or local authority on the Schedule Premises.

5.4 The Lessee shall extend all necessary cooperation and information as may be reasonably required by the Lessor for the purpose of complying with the aforementioned statutory and legal requirements.

5.5 The Lessee shall not be held liable for any non-compliance by the Lessor with respect to the statutory and legal obligations pertaining to the Schedule Premises, and the Lessor agrees to indemnify and hold the Lessee harmless against any claims, penalties, fines, or losses arising from such non-compliance.

6. **ASSIGNMENT AND AMENDMENT:** The Lessee shall be entitled to assign/ transfer the benefit of this Lease Deed, subject to prior written intimation to the Lessor. The Lessee shall provide the Lessor with a written notice of its intention to execute the assignment at least one month in advance.

7. **UTILITY CHARGES:** The Lessee shall be liable to pay the electricity, water charges consumed in the premises during the subsistence of this lease deed as charged by the appropriate authority. The Lessee shall pay above charges from the Lease commencement date until the expiry or early termination of the term of this Lease Deed.

8. **TERMINATION**




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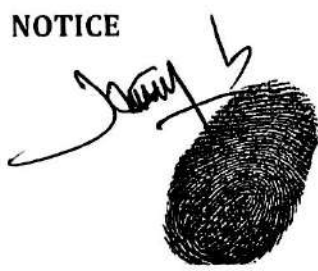


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- 8.1 The Lessee shall have the right to terminate this Lease Deed in the event the Lessor commits a breach of any of the terms and conditions, its representations, warranties and covenants of this Lease Deed and fails to remedy the breach within 30 (Thirty) days after receipt of the Lessee's written notice in respect thereof.
- 8.2 The Lessee may, at any time after giving 3 (Three) months' notice, terminate this Lease Deed without assigning any reasons, notwithstanding anything to the contrary contained herein.
- 8.3 In the event, the Lessee fails to pay to the Lessor, the Rent, consecutively for a period of 2 (Two) years, then the Lessor shall be entitled to terminate this Lease Deed, after providing a notice of 30 (Thirty) days to the Lessee and the Lessee failing to cure the breach within said 30 (Thirty) days. Except for the aforesaid reason, the Lessor does not have any right to terminate this Lease Deed in any circumstances whatsoever.
- 8.4 The Lessee shall handover the physical possession of the Schedule Premises to the Lessor on the expiry or earlier termination of this Lease Deed as contemplated in this Lease Deed, subject to normal wear and tear. The Lessor shall refund any amounts due to the Lessee simultaneously with the handing over of physical possession of the Schedule Premises, failing which, the Lessee shall not be liable to vacate and hand over possession of the Schedule Premises to the Lessor till the payment of such amounts by the Lessor and shall be entitled to continue to occupy the Schedule Premises without payment of any Rent, mesne profit or any other amount whatsoever to the Lessor. Further the Lessor shall be liable to pay an interest @ 24% per annum to the Lessee from the date of default till the date of payment of such amounts. The provisions of this clause shall survive the expiry or the earlier termination of this Lease Deed.
- 8.5 On termination, the ownership of movable and immovable property, including fixtures and equipment used for the school or other activities, shall be mutually settled between the Parties. A joint inspection and inventory of the assets shall be conducted within 5 [Five] days of termination. The Parties will engage in good-faith negotiations to determine asset division or removal. If no agreement is reached within 15 [Fifteen] days, mediation or alternative dispute resolution will be pursued. In the absence of resolution, any dispute shall be referred to arbitration. The Lessee retains the right to remove its fixtures and equipment, repairing any resulting damage at its expense. Both Parties commit to cooperate and execute necessary documents to effectuate the ownership transfer per the final determination.

9. GENERAL CLAUSES

9.1 NOTICE




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Siddhantam Heritage School

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For State Share Education Society



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Any notice or communication with reference to this Lease Deed unless otherwise specified herein, shall be deemed to be validly sent if dispatched by registered post acknowledgement due to the other Party at the following respective addresses:

If made to Lessee:

SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY

1504, Tower-E, JM Aroma, Sector-75 Gautam Buddha Nagar-201301, UP, India

If made to the Lessor:

DELCO EDUCATION PRIVATE LIMITED,

33, Block D, Sector-61, Noida, Gautam Buddha Nagar-201307, UP

9.2 WAIVER

The failure of the Lessee to enforce at any time any of the provision of this Lease Deed shall not be considered to be waiver of the right of the Lessee against the Lessor thereafter to enforce each and every such provision. Waiver, if any, shall be in writing, signed by the then duly authorized signatory of the Lessee.

9.3 SEVERABILITY

If any provision of this Lease Deed is determined to be void or unenforceable under any law applicable for the time being, such provisions shall be deemed amended or modified or deleted in so far as is reasonably inconsistent with the provisions of this Lease Deed and to the extent necessary to conform to applicable law and the remaining provisions of this Lease Deed shall remain valid and enforceable in accordance with these terms.

9.4 FORCE MAJEURE

If at any time during the Term of the Lease Deed, the Schedule Premises is destroyed or damaged by acts of god, tempest, flood, earthquake or any other means like fire or riot, civil or military action, war, caused not due to any acts of commission, omission or negligence of the Lessee ("Force Majeure"), so as to become unfit for occupation or use, the Lessor hereby undertakes to carry out the necessary repairs within 15 (Fifteen) days of the occurrence, and no Rent and other outgoings shall be paid until the Schedule Premises shall have again been rendered fit for occupation or installation of Equipment and or the operation of the Business therefrom.

9.5 ENTIRE AGREEMENT

This Lease Deed constitutes the entire agreement between the Parties and shall supersede all previous discussions/correspondence and arrangements/agreements between the Parties, if any, concerning the **Slate Share Educational Technology Society** covered herein whether written, oral or implied. This Lease Deed shall not be

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changed or modified, except by amendment(s) in writing duly agreed to and executed by both the Parties hereto.

9.6 GOVERNING LAW AND JURISDICTION

This Lease Deed shall be construed in accordance with applicable laws of India and subject to the provision stated in Clause 9.7, any dispute arising from the subject matter of this Lease Deed shall be adjudicated only in the Court of competent jurisdiction of Gautam Buddha Nagar, Uttar Pradesh.

9.7 DISPUTE RESOLUTION

Any dispute or difference whatsoever arising between the Lessor and the Lessee out of or relating to the construction, meaning, scope, operation or effect of this Lease Deed or the validity or the breach thereof shall be settled by a mutual discussion. However, if the Parties fails to resolve its dispute or difference within 15 (Fifteen) days through such mutual conciliation discussion then such dispute or difference shall be resolved through an arbitration proceeding conducted by a sole arbitrator to be appointed mutually, failing which such arbitrator shall be nominated in accordance with the Arbitration and Conciliation Act, 1996 (as Amended) and the award made in pursuance thereof shall be binding on the Parties. The venue of arbitration proceedings shall be Noida.

9.8 LOANS

Nothing stated herein shall restrict the Lessee from availing or procuring any loans or other financial assistance from the third party or financial institution, banks etc., from time to time by creating pledge and hypothecation over all at the Schedule Premises. Further, it is expressly agreed between the Parties that the Lessor shall not have any claim, lien or other charge of whatsoever nature on any items constructed or installed by the Lessee or any of the Lessee Representative or Third-Party Contractor, either for enforcing or recovering unpaid Rent, arrears, fees, compensation or otherwise.

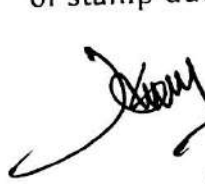

9.9 INTERPRETATION

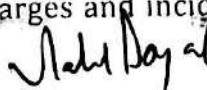
In this Lease Deed, unless the context otherwise requires any references to words importing singular shall include the plural and vice versa, words importing a gender include every gender and references to persons include bodies corporate and firms.

9.10 STAMP DUTY

The stamp duty, registration charges and incidental charges thereto in respect of this Lease Deed and all other documents that may be executed pursuant to this Lease Deed shall be borne by the Lessor and Lessee in equal ratio. The Lessor hereby authorizes the Lessee to adjust the above stated Lessor's share in respect of stamp duty, registration charges and incidental charges from the Rent payable

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SIDDHANTAM HERITAGE SCHOOL


Manager
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hereby authorizes the Lessee to adjust the above stated Lessor's share in respect of stamp duty, registration charges and incidental charges from the Rent payable to the Lessor. The Lessor also undertakes that if the Lease Deed is terminated for any reason what so ever, prior to above mentioned adjustment of the dues then such unadjusted amount will be paid by the Lessor before taking the physical possession of the Schedule Premises back from Lessee.

9.11 AGREEMENT IN COUNTERPARTS

This Lease Deed may be signed in any number of counterparts, each of which is an original and all of which, taken together, constitutes one and the same instrument.

SCHEDULE PREMISES

All That open land and measuring about 4180.5 Square Meter area of property situated at **KHATA NO- 02471, KHASRA NO-993CH, ADMEASURING 4180.5 SQUARE METER, in VILLAGE-DASNA, TEHSIL AND DISTRICT-GHAZIABAD (U.P)** and more particularly shown and marked in red colour boundaries on the map or sketch plan attached hereto. The said total land is butted and bounded as follows:

East: Other's Land

West: Vishawas Girls College

North: Road 70 Feet

South: Other's Land

IN WITNESS WHEREOF the Parties hereto have signed this Lease Deed through their duly authorized representatives at the place and on the day, month and year first above written.

DRAFTED BY SHIKHAR GARG

SIGNED, SEALED AND DELIVERED BY

SIGNED, SEALED AND DELIVERED BY

FOR DELCY EDUCATION PRIVATE LIMITED

FOR SLATE SHARE EDUCATIONAL TECHNOLOGY SOCIETY

(LESSOR)

(LESSEE)

NAME - SASWANT SINGH
S/O RANJIT SINGH
UHID - XXXX-XXXX-9890

NAME - RAHUL DAYAL
S/O - C-R DAYAL
UHID - XXXX-XXXX-1117

PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

Rahul Dayal

For Slate Share Educational Technology Society

Authorised Signatory

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Saswant Singh

Manager
Siddhantam Heritage School



In the presence of WITNESSES:

1. NAME- RATIKANT RAUT

FATHER NAME- SHYAM SUNDER

RESIDENT OF- E-908 FLORIDA APARTMENT SEC-82 FARIDA BAD HARYANA

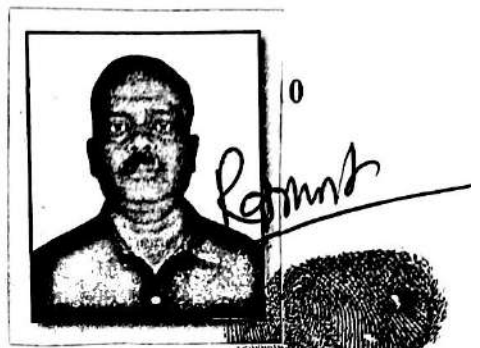
UHD- XXXX-XXXX-0540

2. NAME- SUMIT SHARMA

FATHER NAME- RAMRAHISH SHARMA

RESIDENT OF- B-46- KASHIRAM FLAT NOIDA SECTOR-15

UHD- GAUTAM BUDDHA NAGAR
XXXX-XXXX-1068




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SIDDHANTAM HERITAGE SCHOOL

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For Slate Share Educational Technology Society

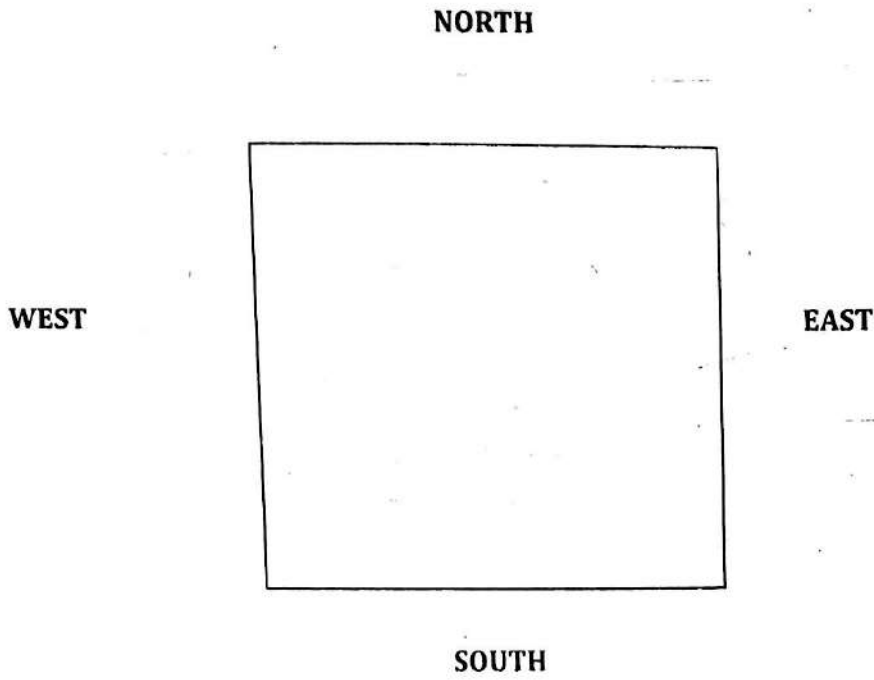
[Signature]


U. M. B. J. al
Manager
Siddhantam Heritage School


Authorised Signatory

PLAN / SKETCH OF THE BUILDING / SCHEDULE PREMISES

SITUATED AT KHATA NO- 02471, KHASRA NO-993CH, ADMEASURING 4180.5
QUARE METER, VILLAGE-DASNA, TEHSIL AND DISTRICT-GHAZIABAD (U.P)]



PRINCIPAL *Deew*
SIDDHANTAM HERITAGE SCHOOL

Abd Day
For Slate Share Educational Technology Society

Abd Day


Abd Day
Manager
Siddhantam Heritage School

 Authorised Signatory

1. YEARLY RENT = INR.1,00,000/-
2. TENURE = 20 YEARS
3. ESCALATION = **Yearly rent** of INR 1,00,000/- (Indian Rupees One Lakh Only) ("**Rent**") for the first five years. The Rent shall be increased to INR 3,00,000/- (Indian Rupees Three Lakh Only) for next five years and increased to INR 5,00,000 (Indian Rupees Five lakh only) for next 5 years and increased to INR 6,00,000 (Indian Rupees Six Lakh Only) for the next 5 years.

Sl. No.	Time Period	Amount (INR)
1.	24.05.2023 to 23.05.2028	5,00,000/-
2.	24.05.2028 to 23.05.2033	15,00,000/-
3.	24.05.2033 to 23.05.2038	25,00,000/-
4.	24.05.2038 to 23.05.2043	30,00,000/-
	Total	75,00,000/-

AVERAGE ANNUAL RENT = 3,75,000/-

Stamp duty on the amount (X5) = INR.18,75,000

18% GST AMOUNT = 3,37,500

Stamp-duty on the amount = 22,12,500

STAMP DUTY @ 4% = INR.88,500/- ROUND OFF = INR.88,700/-

REGISTRATION FEE= INR.22,150/-

PRINCIPAL
SIDDHANTAM HERITAGE SCHOOL

Manoj Kumar

For Slate Share Educational Technology Society

Authorised Signatory

Manoj Kumar


Manoj Kumar
Manager
Siddhantam Heritage School



आवेदन सं०: 202300739086268

बही संख्या 1 जिल्द संख्या 20428 के पृष्ठ 55 से 80 तक क्रमांक 11377 पर
दिनांक 02/11/2023 को रजिस्ट्रीकृत किया गया।

रजिस्ट्रीकरण अधिकारी

वन्दना
उप निबंधक
राजिया
02/11/23

Manager
Siddhantam Heritage School

प्रिंट करें



(Handwritten signature)

SCHOOL
SCHOOL

एव उत्तर प्रदेश शासन राजस्व अनुभाग -1 लखनऊ की अधिसूचना सं. 688/ एन-1 2020-20 (5)/ 2016 दिनांक 06.07.2020 द्वारा प्रदत्त शक्तियों का प्रयोग करते हुए मैं अजय शंकर पाण्डेय जिलाधिकारी गाजियाबाद ग्राम डामना परगना डामना तहसील व जिला गाजियाबाद स्थित नाली के खते में दर्ज खसरा नं. 106 रकबा 0.0163 है। एवं चकमार्ग के खते में दर्ज खसरा नं. 105 रकबा 0.0160 है। कुल खसरा नं. 2 कुल रकबा 0.0323 है। के स.शुल्क श्रेणी परिवर्तन किये जाने व भारतीय राष्ट्रीय राजमार्ग प्राधिकरण (दि.नि. चेट एसप्रेस- वे) के नाम दर्ज ग्राम डामना परगना डामना तहसील व जिला गाजियाबाद स्थित भूमि खसरा नं. 1218 रकबा 0.0323 है। से विनियम किये जाने की अनुमति प्रदान करता हूँ। (अजय शंकर पाण्डेय) जिलाधिकारी गाजियाबाद। ह.अ.र.का.

1429-फ अदेश श्रीमान नयन तहसीलदार मुख्यालय गाजियाबाद मिसल नं. T202111280107745 अदेश दिनांक 04.10.21 को अदेश हुआ कि खाला नं. 2471 के खसरा नं. 1195 रकबा 0.0066 है। मांगु 0.10 से विक्रेता मोहसिन पुत्र यमीन निवासी मकान नं. 42 वार्ड नं. 6 मैहल्ला चार बीसा ग्राम डामना तहसील व जिला गाजियाबाद का नाम खारिज करके केता शकील अहमद पुत्र अकबर अली निवासी 546 पुरानी चेट ग्राम डामना परगना डामना तहसील व जिला गाजियाबाद का नाम बतौर बेनामा दर्ज हो। ह.अ.र.का।

1429-फ अदेश श्रीमान नयन तहसीलदार मुख्यालय मिसल नं. T202111280107756 अदेश दिनांक 11.12.2021 को अदेश हुआ कि खाला नं. 2471 के खसरा नं. 993 रकबा 0.4180 है। मांगु पतानुसार से विक्रेता प्रेम कुमार व सन्तोष कुमार पुत्र गणेश हिन्दोली उर्फ राम गुदास कपूर नि.0 अथ्यात्मिक नगर डामना गा.0 बा.0 का नाम खारिज करके केता डेलसी एजुकेशन प्रा.0 लि.0 रजिस्टर्ड अफिस डी 33 से 0 61 नोएडा जिला गौतमबुद्धनगर द्वारा डायरेक्टर एलिस देयाल फौरी राहल देयाल नि.0 डी 33 न्यू प्लैन्स से 0 61 नोएडा जिला गौतमबुद्धनगर का नाम बतौर बेनामा दर्ज हो। ह.अ.र.का।

1429-फ अदेश श्रीमान नयन तहसीलदार मुख्यालय मिसल नं. T202111280110058 अदेश दिनांक 03.12.2021 को अदेश हुआ कि खाला नं. 2471 के खसरा नं. 1195 रकबा 0.0104 है। मांगु 0.20 से विक्रेता मनीष कपूर पुत्र सन्तोष कुमार कपूर निवासी अथ्यात्मिक नगर ग्राम डामना तहसील व जिला गाजियाबाद का नाम खारिज


Manager
Siddhantam Heritage School


PRINCIPAL
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न्यायालय :- नायब तहसीलदार मुख्यालय गाजियाबाद
मण्डल :मेरठ, जनपद :गाजियाबाद, तहसील :गाजियाबाद
कम्प्यूटरीकृत वाद संख्या:- T202111280107756
वाद संख्या:- 7756/2021
डेलीसएजुकेशन प्रर लि बनाम प्रेम कुमार
उत्तर प्रदेश राजस्व संहिता - 2006, अंतर्गत धारा:- 35
" अंतिम आदेश "
आदेश तिथि:- 11/12/2021

आदेश

पत्रावली का अवलोकन किया गया। अतः आदेश दिया जाता है कि ग्राम डासना के खाता न० 2471 के खसरा न० 993छ रकबा 0.4180है0 मा0गु0 परतानुसार से विक्रेता प्रेम कुमार व सन्तोष कुमार पुत्रगण हिजहोली उर्फ राम गुरदास कपूर नि० अध्यात्मिक नगर डासना गा०बाद का नाम खारिज करके क्रेता डेलसी एजुकेशन प्रा० लि० रजिस्टर्ड ऑफिस डी 33 से० 61 नोएडा जिला गौतमबुद्धनगर द्वारा डायरेक्टर एलिना दयाल पत्नी राहुल दयाल नि० डी 33 न्यू फ्लैक्स से० 61 नोएडा जिला गौतमबुद्धनगर का नाम बतौर बैनामा दिनांक 24.08.2021 व बही स० 1 जिल्द स० 18262 के पृष्ठ स० 223 से 248 क्रमांक 6366 व प्रतिफल धनराशि 05,64,30,000/रू दर्ज होवे। यह आदेश यदि भूमि अधिग्रहित क्षेत्र के अन्तर्गत हे तो अधिग्रहण से अवशेष भूमि पर ही लागू होगा। पत्रावली बाद अमल दरामद दाखिल दफ्तर होवे।

नायब तहसीलदार मु०
गाजियाबाद

Disclaimer :

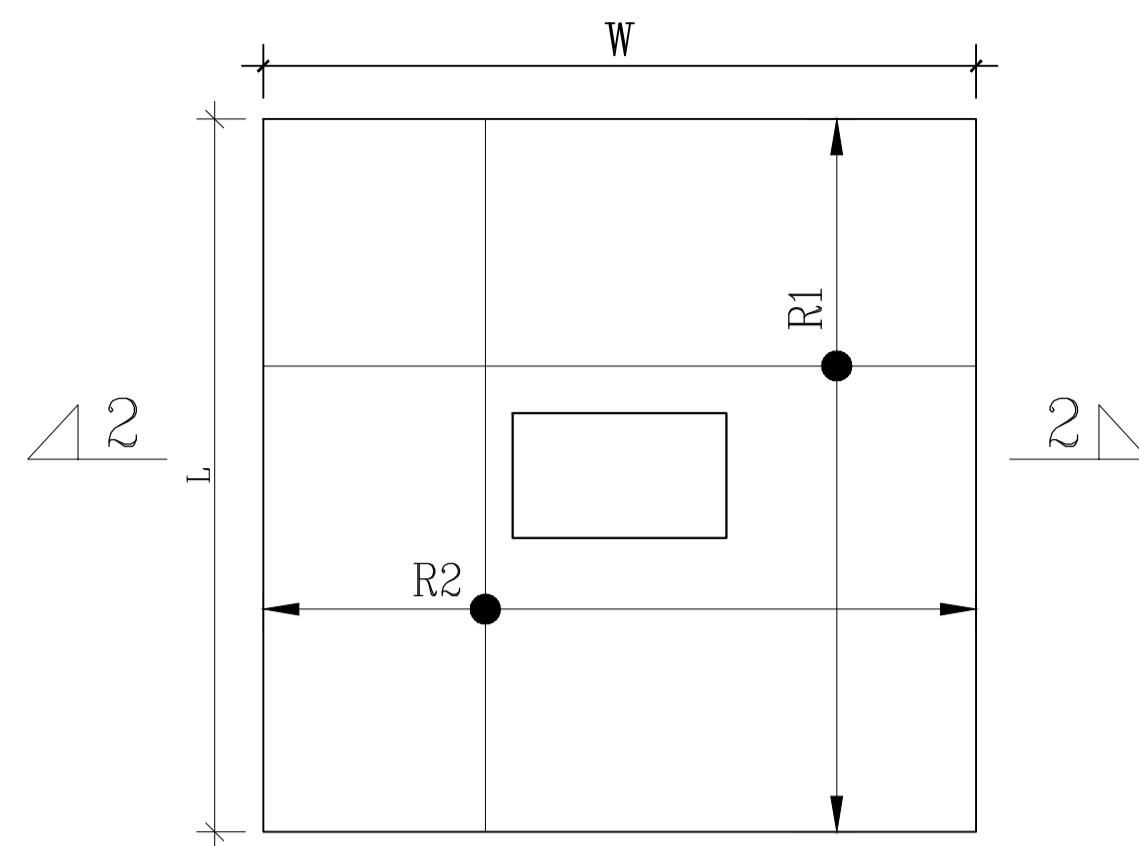
उपरोक्त सूचना मात्र सूचनार्थ है तथा राजस्व न्यायालय कम्प्यूटरीकृत प्रबन्धन प्रणाली (RCCMS) में उपलब्ध अद्यतन सूचना पर आधारित है, इस सूचना की कोई विधिक मान्यता नहीं होगी। वास्तविक सूचना की पुष्टि सम्बंधित न्यायलय / न्यायालयों की पत्रावली / पत्रावलियों से की जा सकती है।"



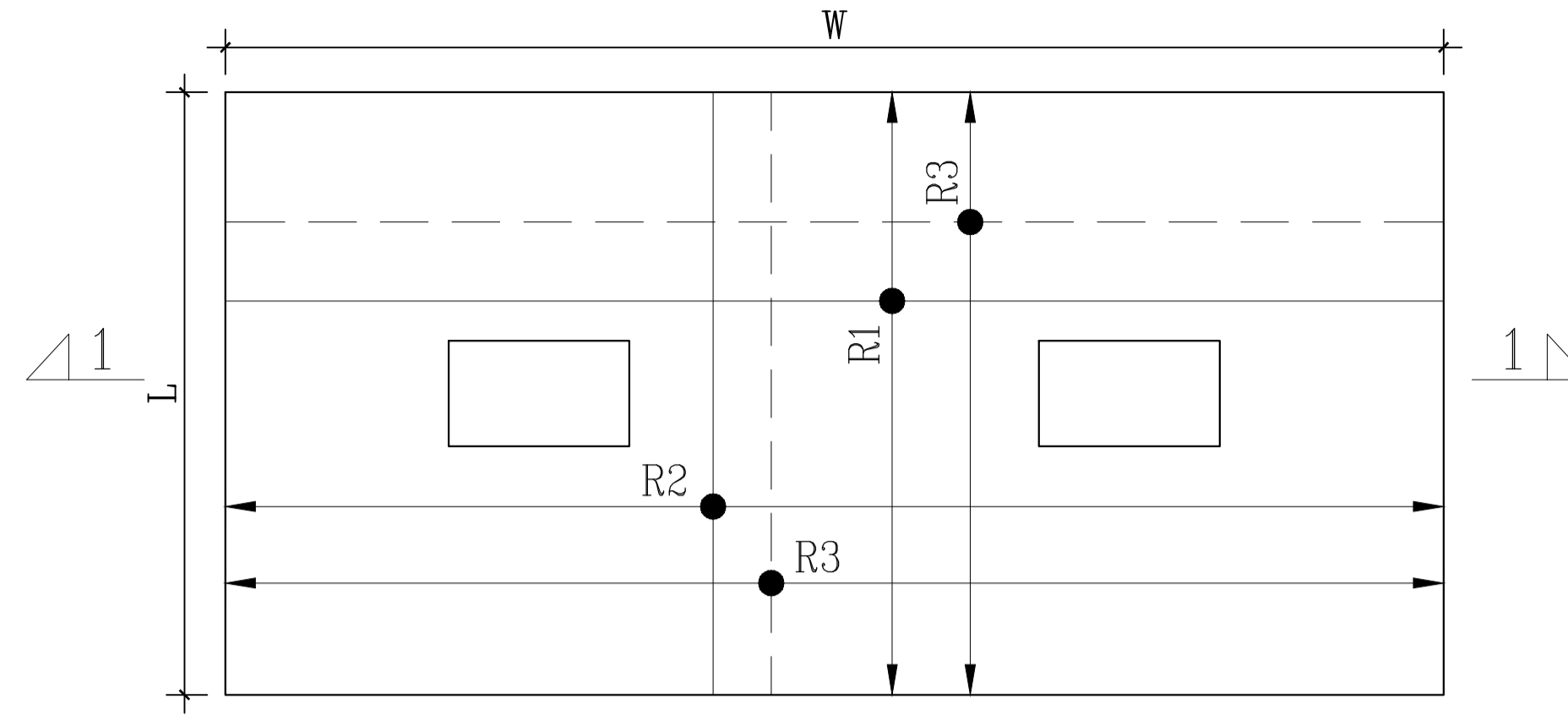
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M. Anand Singh
Manager
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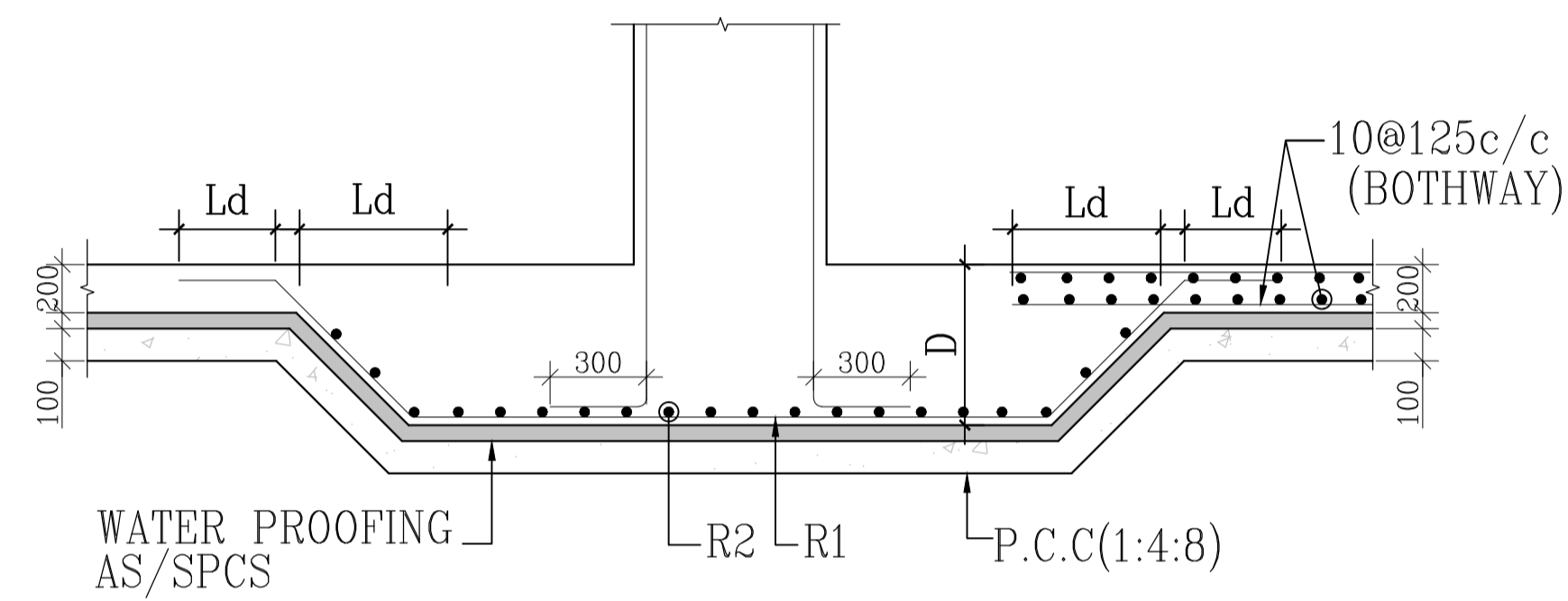
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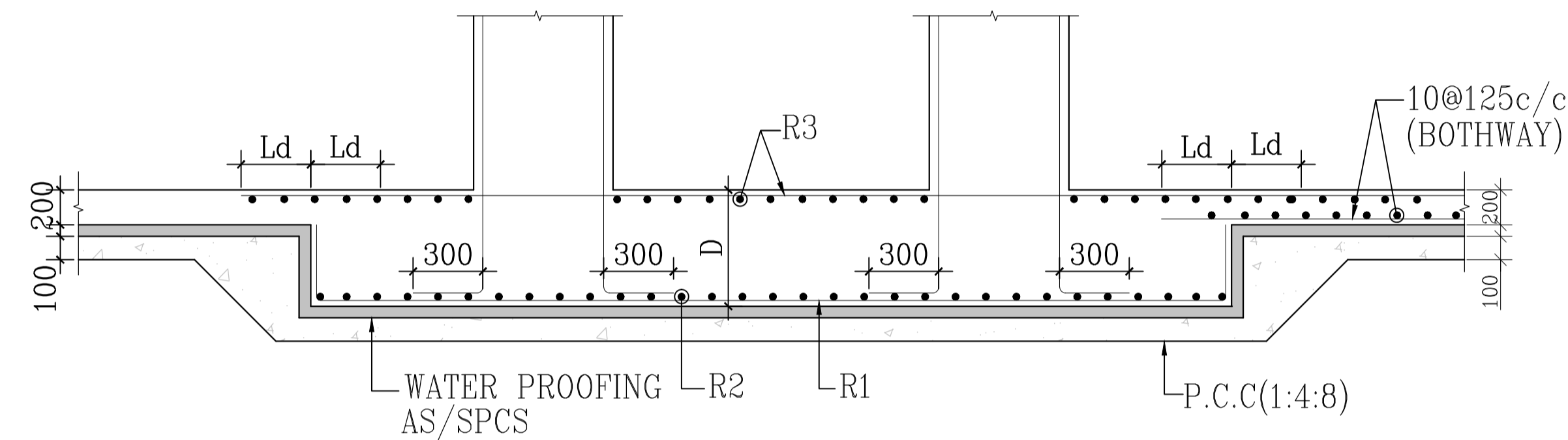
TYP. FOUNDATION PLAN



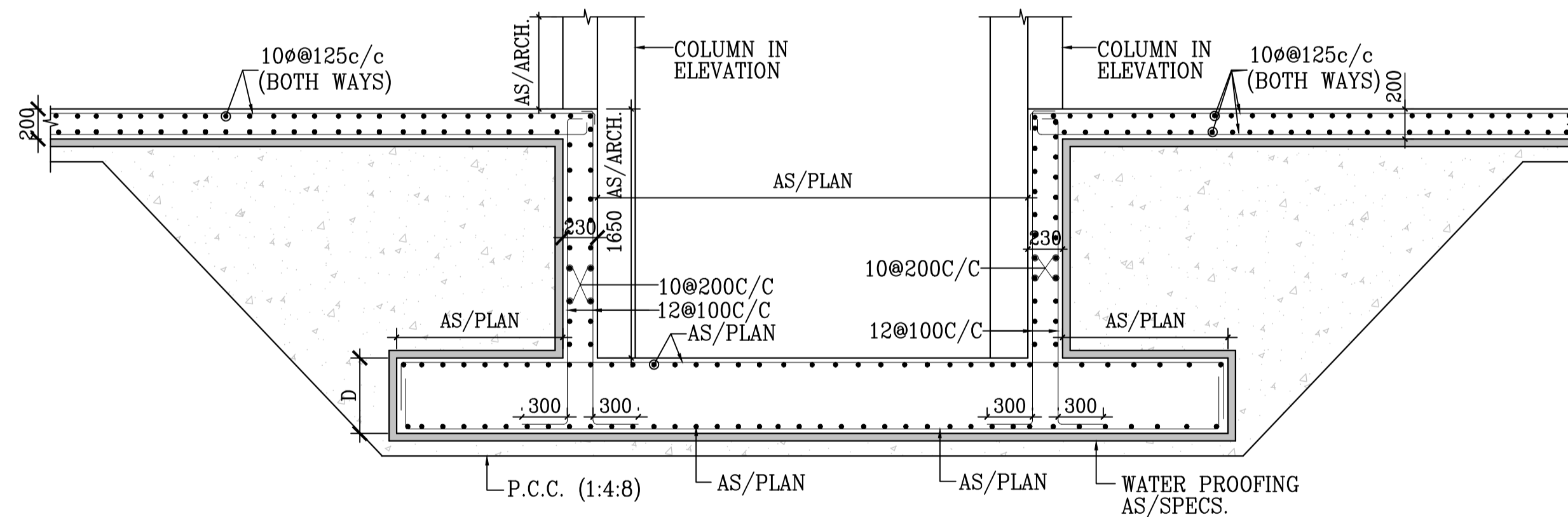
TYP. FOUNDATION PLAN



SECTION 2-2



TYP. COMBINED FOOTING SECTION
SECTION 1-1



SECTION A-A

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Rajib Chowdhury
Rajib Chowdhury
 Associate Professor
 Department of Civil Engineering
 Indian Institute of Technology Roorkee
 Roorkee-247667, Uttarakhand

NOTES

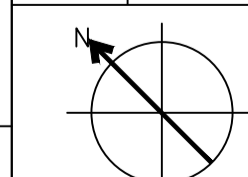
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- ISSUED FOR:-
- | | |
|---------------------------------------|--|
| <input type="checkbox"/> INFORMATION. | <input type="checkbox"/> CONSTRUCTION/FABRICATION. |
| <input type="checkbox"/> TENDER. | <input type="checkbox"/> |
| <input type="checkbox"/> PLANNING. | <input type="checkbox"/> |

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PROJECT :
**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

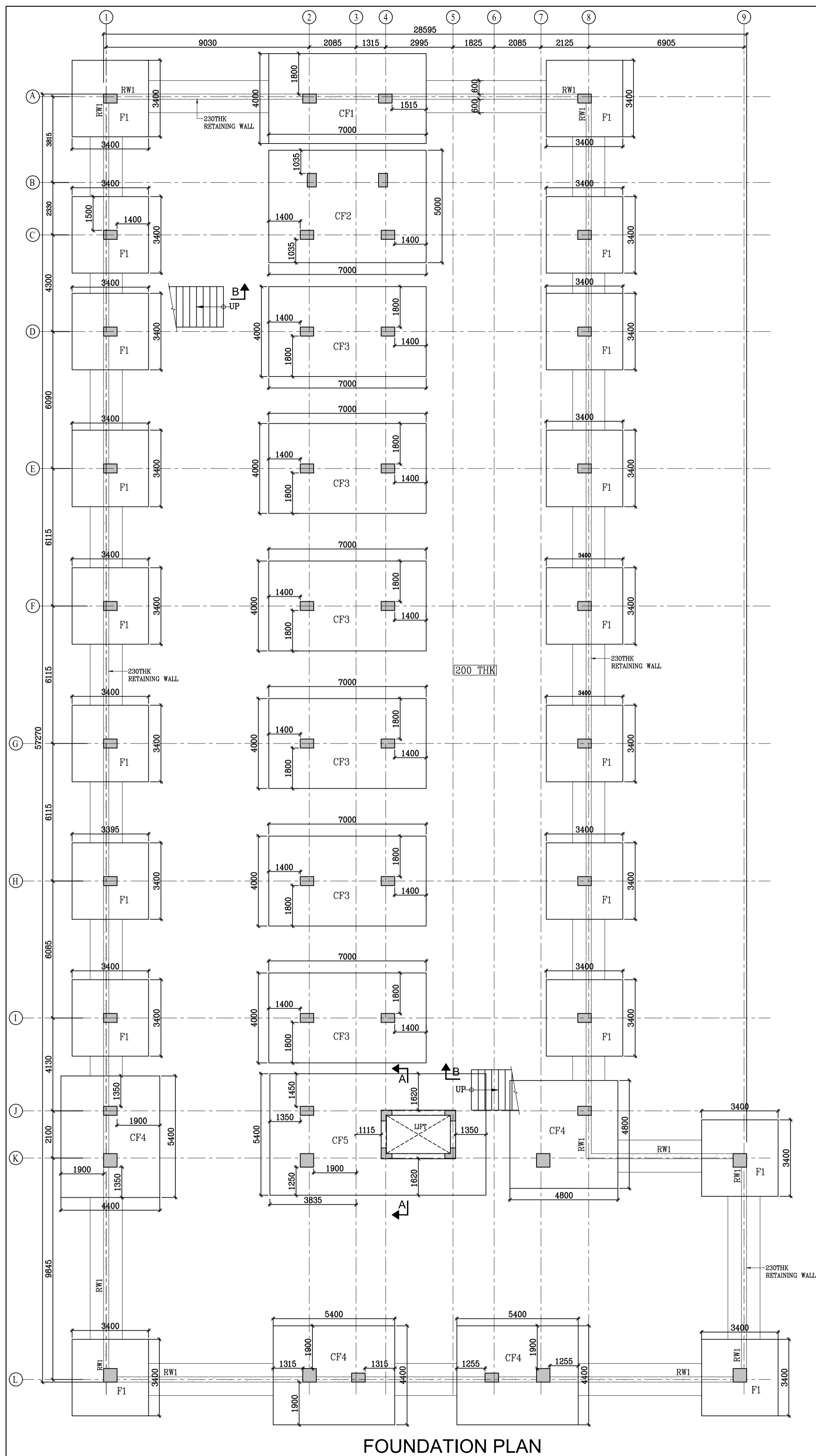
DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		17-02-2022
APPR.	R.R.S.	TITLE:	FOUNDATION SECTIONS



DRAWING No. **S-02A** JOB. NO: **2021-25** Rev.

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 NFC NEW DELHI
 Tel. 9810592984
 Email: revati_raman1@yahoo.com

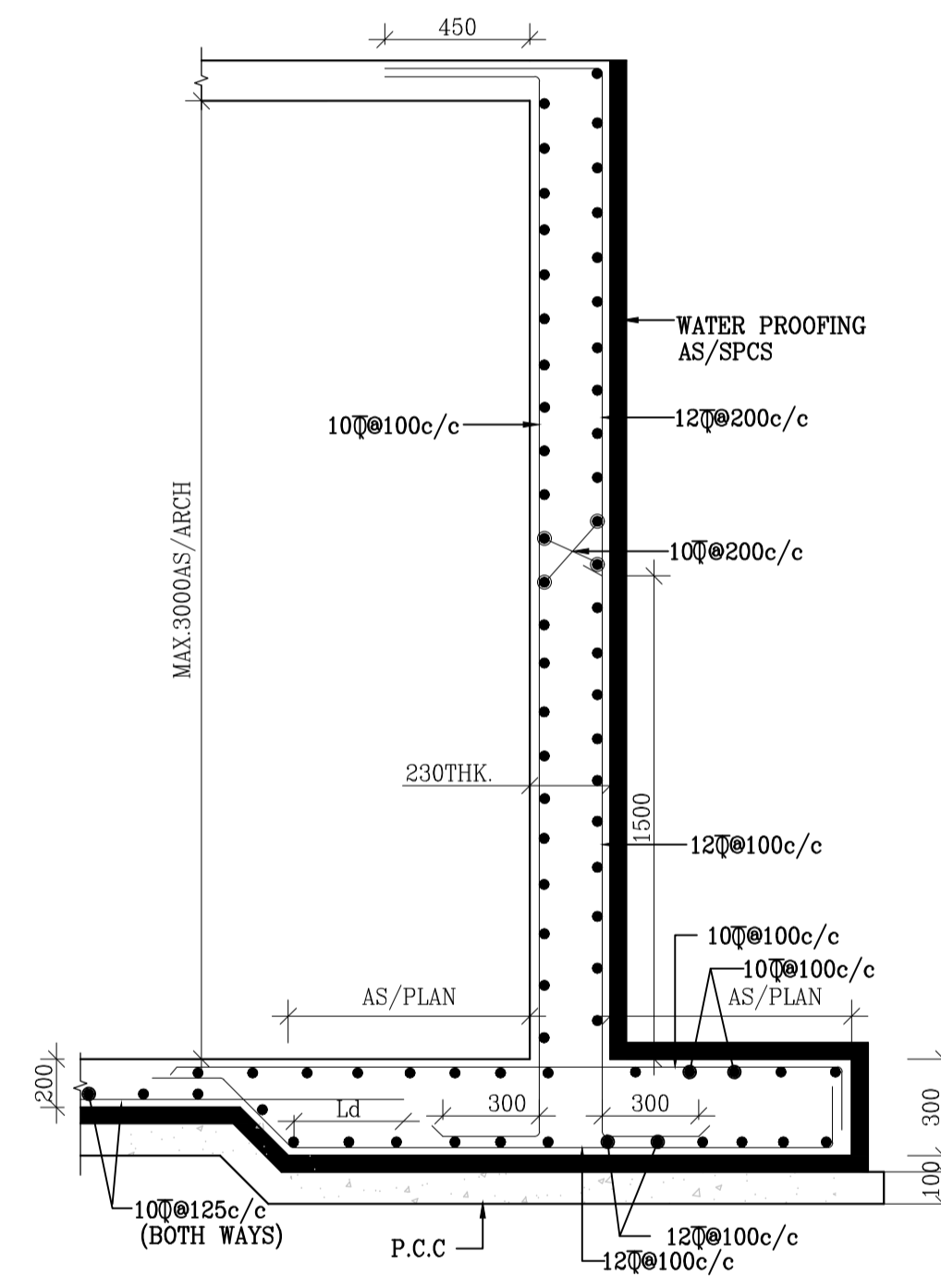
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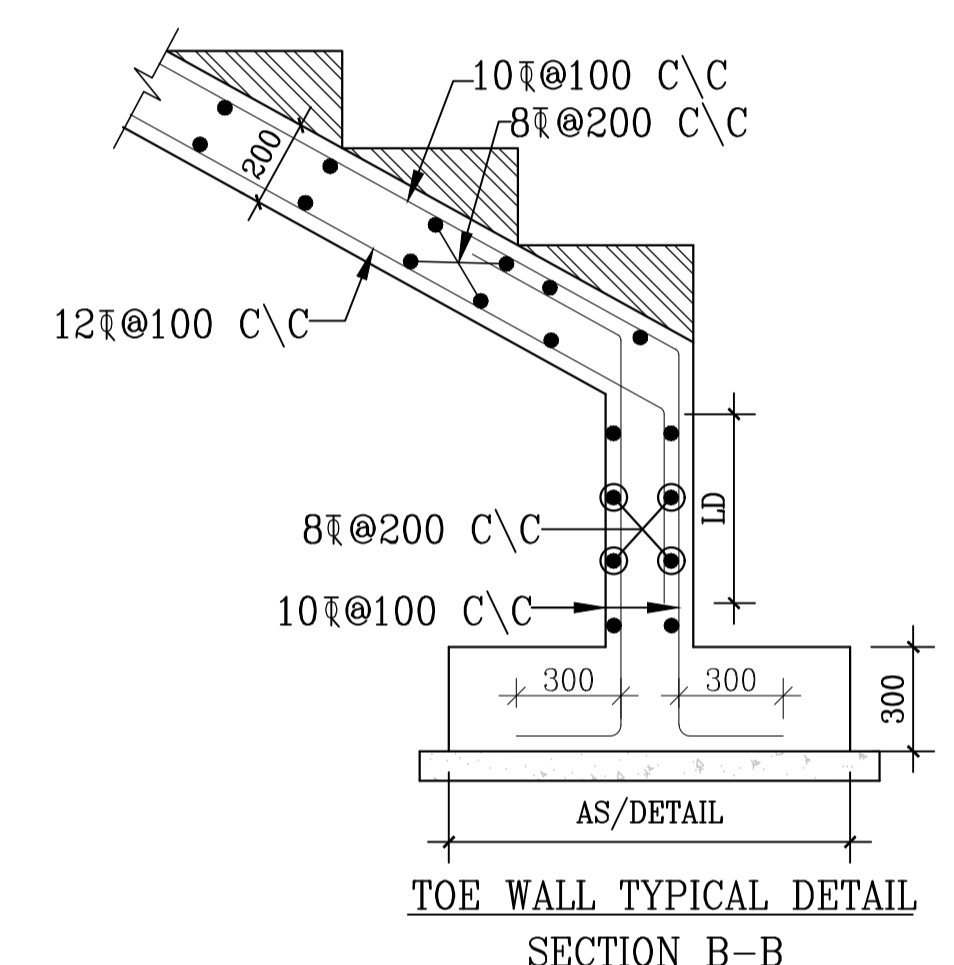
FOUNDATION PLAN

SCHEDULE OF FOOTINGS						
SL. NO.	MARK	SIZE	THICKNESS	BOTTOM REINF.		TOP REINF.
				R1(LONG BARS)	R2(SHORT BARS)	R3
1	F1	3400X3400	650	16 ∇ @125c/c	16 ∇ @125c/c	
2	CF1	AS/PLAN	750	20 ∇ @125c/c	20 ∇ @125c/c	12 ∇ @100c/c
3	CF2	AS/PLAN	600	16 ∇ @150c/c	16 ∇ @150c/c	12 ∇ @150c/c
4	CF3	AS/PLAN	750	20 ∇ @125c/c	20 ∇ @125c/c	12 ∇ @100c/c
5	CF4	AS/PLAN	800	16 ∇ @100c/c	16 ∇ @100c/c	12 ∇ @100c/c
6	CF5	AS/PLAN	750	16 ∇ @125c/c	16 ∇ @125c/c	12 ∇ @125c/c

S.B.C.20T/m²



TYP. SECTION THROUGH RETAINING WALL (RW1)



TOE WALL TYPICAL DETAIL SECTION B-B

Certified that structural design and Drawings has been checked and found safe. Execution/Implementation of the same rests with the client/owr

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ISSUED FOR:-

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<input type="checkbox"/> TENDER.	<input type="checkbox"/>
<input type="checkbox"/> PLANNING.	<input type="checkbox"/>

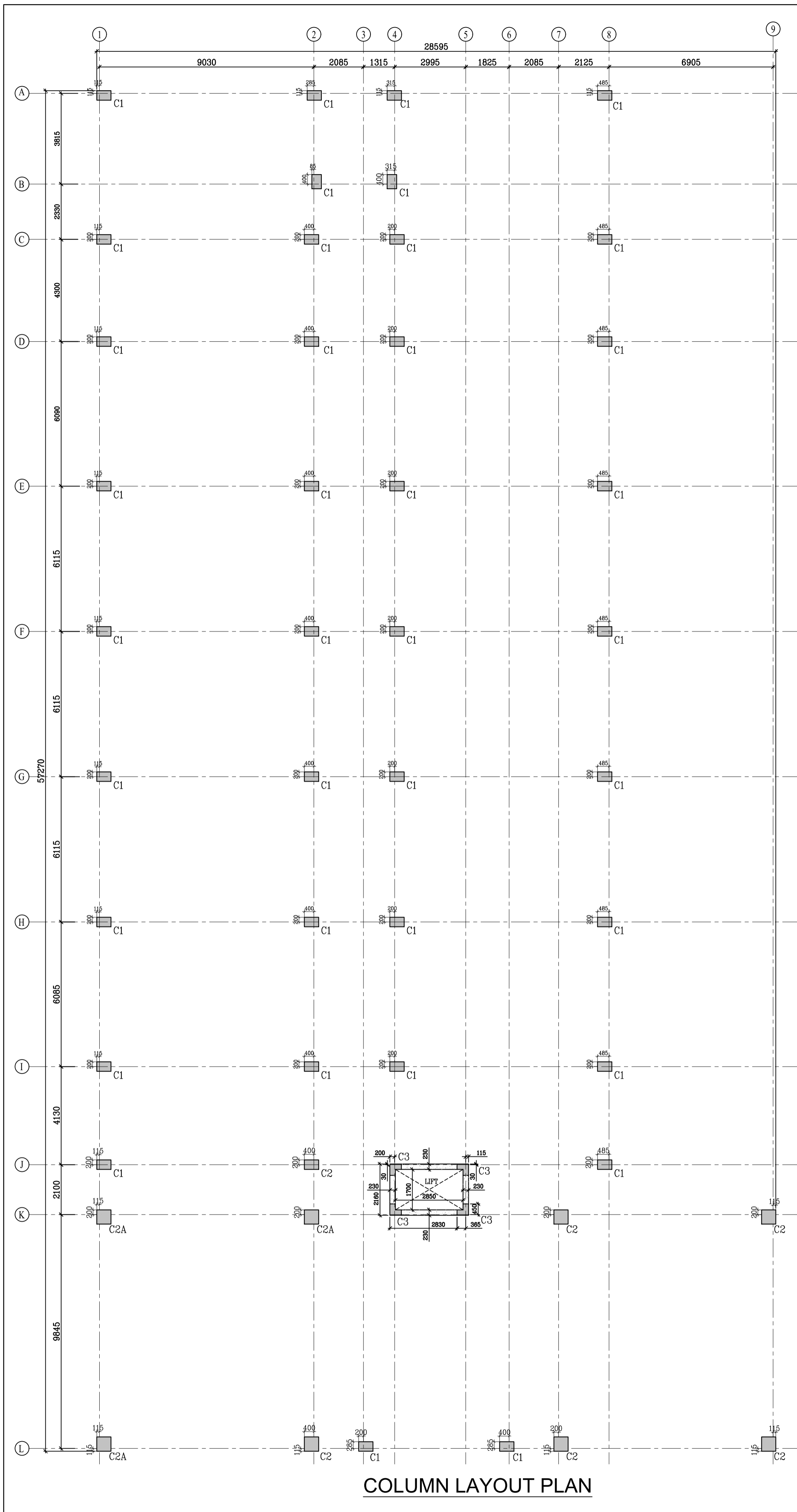
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PROJECT :
**PROPOSED SCHOOL,DASNA
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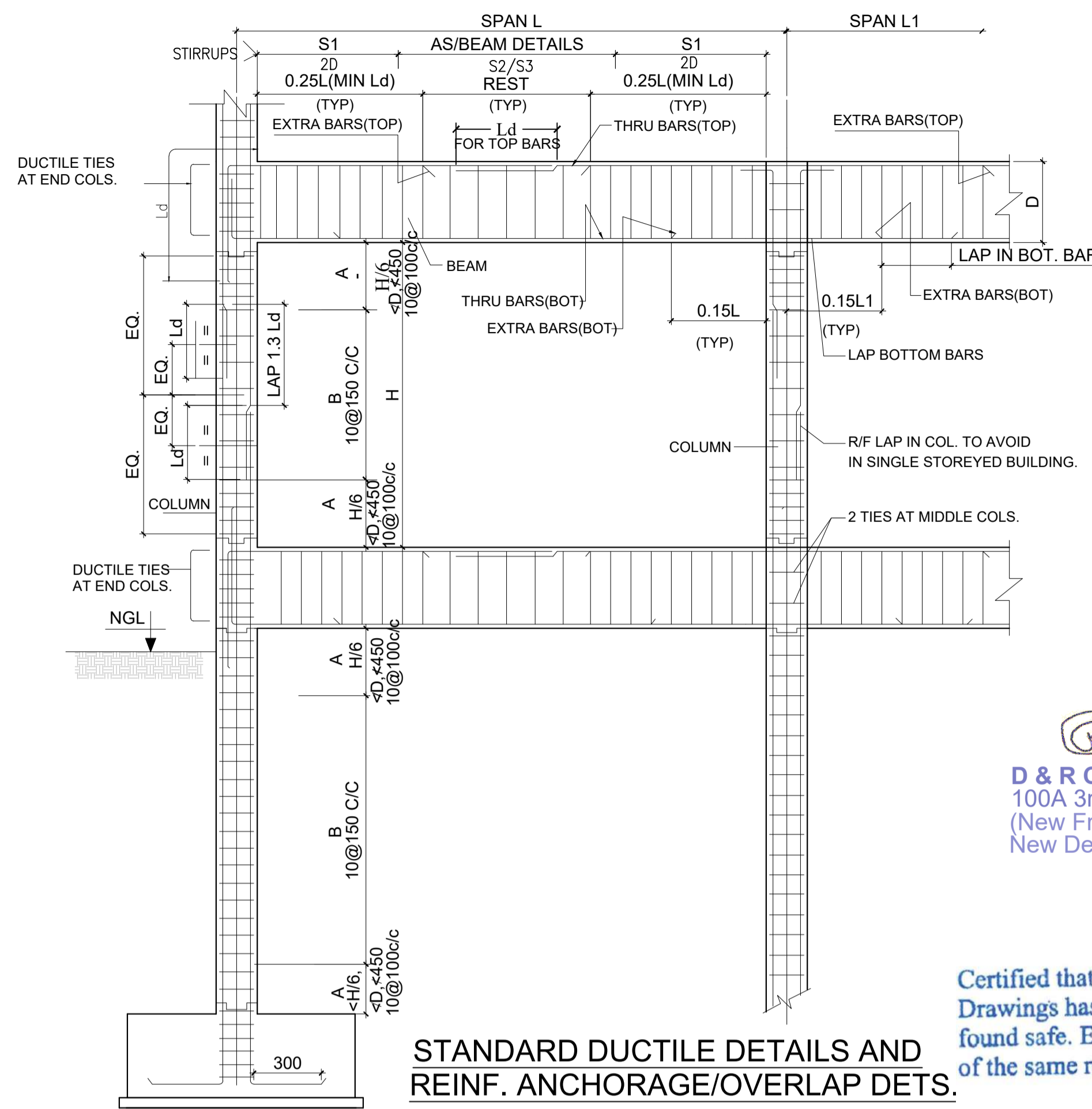
DRN. EKTA	DRG.GROUP: STRUCTURAL
CHKD. BIRJESH	17-02-2022
APPR. R.R.S.	TITLE:

FOUNDATION PLAN & DETAILS	
DRAWING No. S-02	JOB. NO: 2021-25
	Rev.

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100A, 3rd FLOOR BHARAT NAGAR
NFC NEW DELHI
Tel. 9810592984
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COLUMN LAYOUT PLAN



STANDARD DUCTILE DETAILS AND REINF. ANCHORAGE/OVERLAP DETS. TYP COLUMN SECTION

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 Roorkee-247667, Uttarakhand

TERRACE FLOOR LVL.

SIZE	400x600	600x600	600x600	AS/PLAN	
VER. BARS	16-25 Φ	12-25 Φ +12-20 Φ	20-25 Φ +4-16 Φ	14-25 Φ	
TIES AS/DETAIL	REFER-TYP - SECTION	REFER-TYP - SECTION	REFER-TYP - SECTION	REFER-TYP - SECTION	
CONC. MIX	M 25	M 25	M 25	M 25	
LEVELS	COLUMNS	C1	C2	C2A	C3

COLUMN SCHEDULE

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ISSUED FOR:-
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**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

DRN. EKTA DRG.GROUP: **STRUCTURAL**

CHKD. BIRJESH - 17-02-2022

APPR. R.R.S. TITLE:
COLUMN LAYOUT PLAN & DETAILS

DRAWING No. **S-01** JOB NO: **2021-25** Rev.

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 Roorkee-247667, Uttarakhand

STIRRUPS SCHEDULE

STIR. MKD.	STIRRUPS SPACING
S1	2L-8@100c/c
S2	2L-8@200c/c
S3	4L-8@100c/c
S4	4L-8@200c/c
S5	6L-8@100c/c
S6	6L-8@200c/c

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- THE CLEAR COVER TO MAIN REINF. SHALL BE:-
 (a) FOUNDATION=75mm BOTTOM & 50 mm SIDES +TOP
 (b) COLUMNS = 40 mm
 (c) WALLS = 40 mm
 (d) BEAMS = 30 mm
 (e) SLABS = 20 mm
- COLUMNS/FOOTINGS ARE CONCENTRIC ABOUT CENTRE LINES UNLESS NOTED OTHER WISE.
- SUB GRADE TO BE WELL COMPACTED AND PREPARED FOR BASE OF BUILDING.
- R.W.P.OR SANITARY PIPES NOT TO PASS THROUGH RCC BEAMS OR COLUMNS.
- REINF. OF BEAMS TO BE GIVEN FULL ANCHORAGE IN COLUMNS.
- LAP IN R/F IF REQUIRED TO BE AS/DUCTILE DETAIL CODE (IS13920)
- THE NET SAFE BEARING CAPACITY IS 20T/M2.
- THE STRUCTURE HAS BEEN DESIGNED FOR B+4TERRACE.
- BACK FILLING / PLINTH FILLING SHALL BE DONE WITH APPROVED EARTH COMPACTED IN LAYERS AND EXCAVATED BLACK COTTON SOIL SHALL BE REMOVED.
- THE STRUCTURE HAS BEEN DESIGNED FOR SEISMIC LOAD ZONE IV

ISSUED FOR:-
 INFORMATION. CONSTRUCTION/FABRICATION.
 TENDER.
 PLANNING.

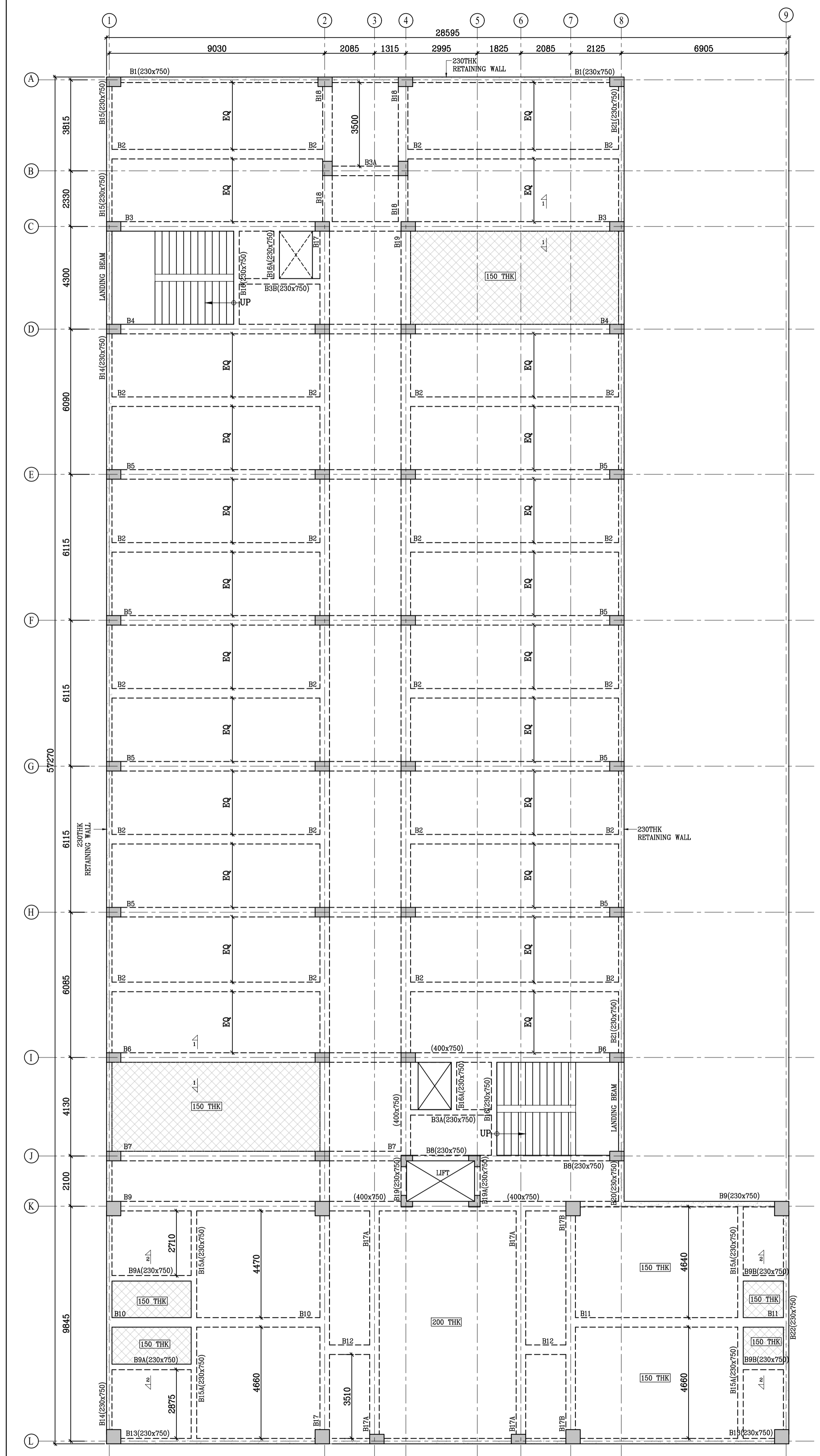
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PROJECT :
**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

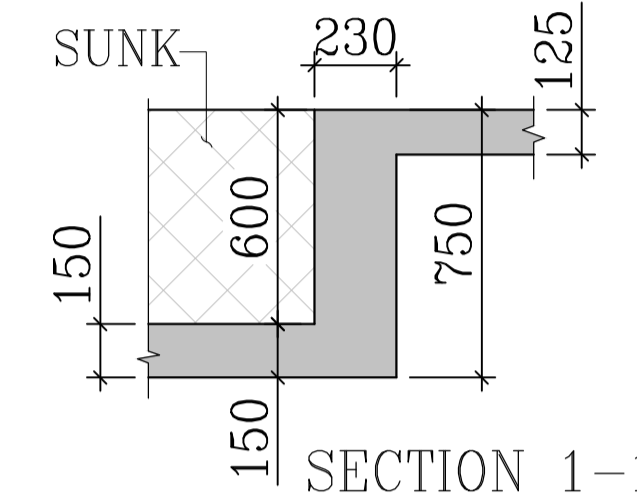
DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	BEAM DETAILS AT BASEMENT ROOF LVL
		DRAWING No.	S-03B
		JOB. NO:	2021-25
		Rev.	

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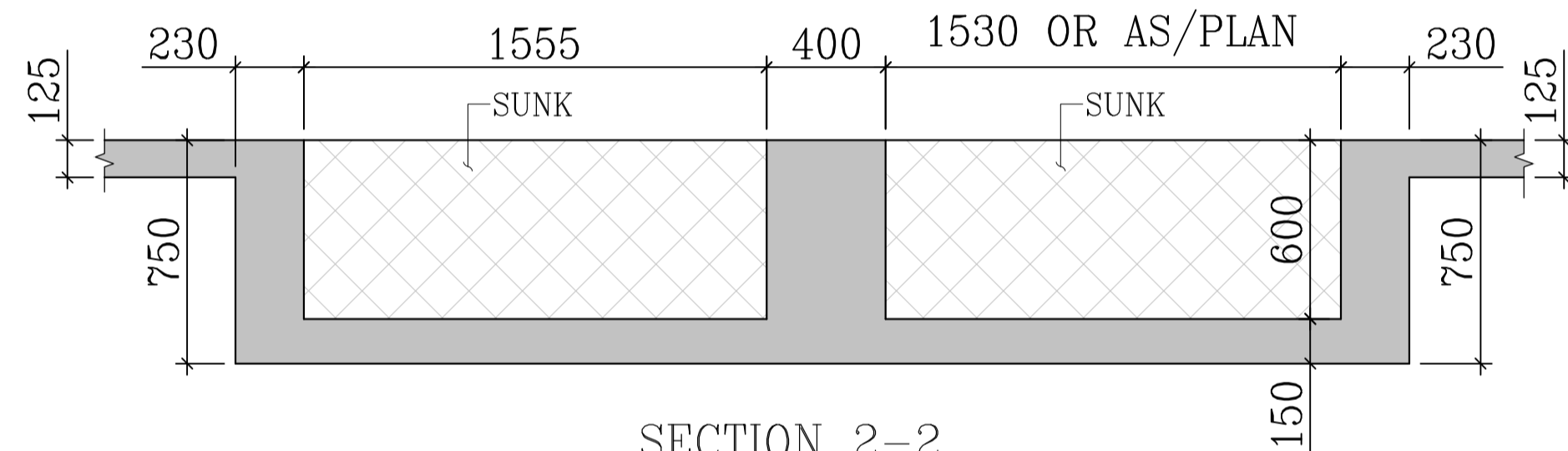
D&R CONSULTANT
 100A, 3rd FLOOR BHARAT NAGAR
 NFC NEW DELHI
 Tel. 9810592984
 Email: revati_raman1@yahoo.com



FRAMING PLAN AT BASEMENT ROOF LVL
 ALL SLABS ARE 125THK U.N.O
 ALL BEAMS ARE 400X750 U.N.O



SECTION 1-1



SECTION 2-2

LEGENDS



Raman
D & R CONSULTANT
 100A 3rd Floor, Bharat Nagar
 (New Friends Colony)
 New Delhi-110025

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 found safe. Execution/Implementation
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Rajib Chowdhury
Rajib Chowdhury
 Associate Professor
 Department of Civil Engineering
 Indian Institute of Technology Roorkee
 Roorkee-247667, Uttarakhand

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ISSUED FOR:-

<input type="checkbox"/> INFORMATION.	<input type="checkbox"/> CONSTRUCTION/FABRICATION.
<input type="checkbox"/> TENDER.	<input type="checkbox"/>
<input type="checkbox"/> PLANNING.	<input type="checkbox"/>

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PROJECT :
**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	FRAMING PLAN AT BASEMENT ROOF LVL

	DRAWING No.	S-03	JOB. NO:	2021-25	Rev.
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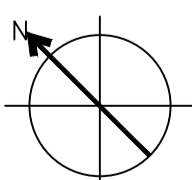
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PROJECT :
**PROPOSED SCHOOL,DASNA
GHAZIABAD**

DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	SLAB REINFORCEMENT DETAIL AT BASEMENT ROOF LVL

	DRAWING No.	S-03A	JOB. NO:	2021-25	Rev.
	<p>D & R CONSULTANT 100A, 3rd FLOOR BHARAT NAGAR NFC NEW DELHI Tel. 9810592984 Email: revati_raman1@yahoo.com</p>				

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New Delhi-110025

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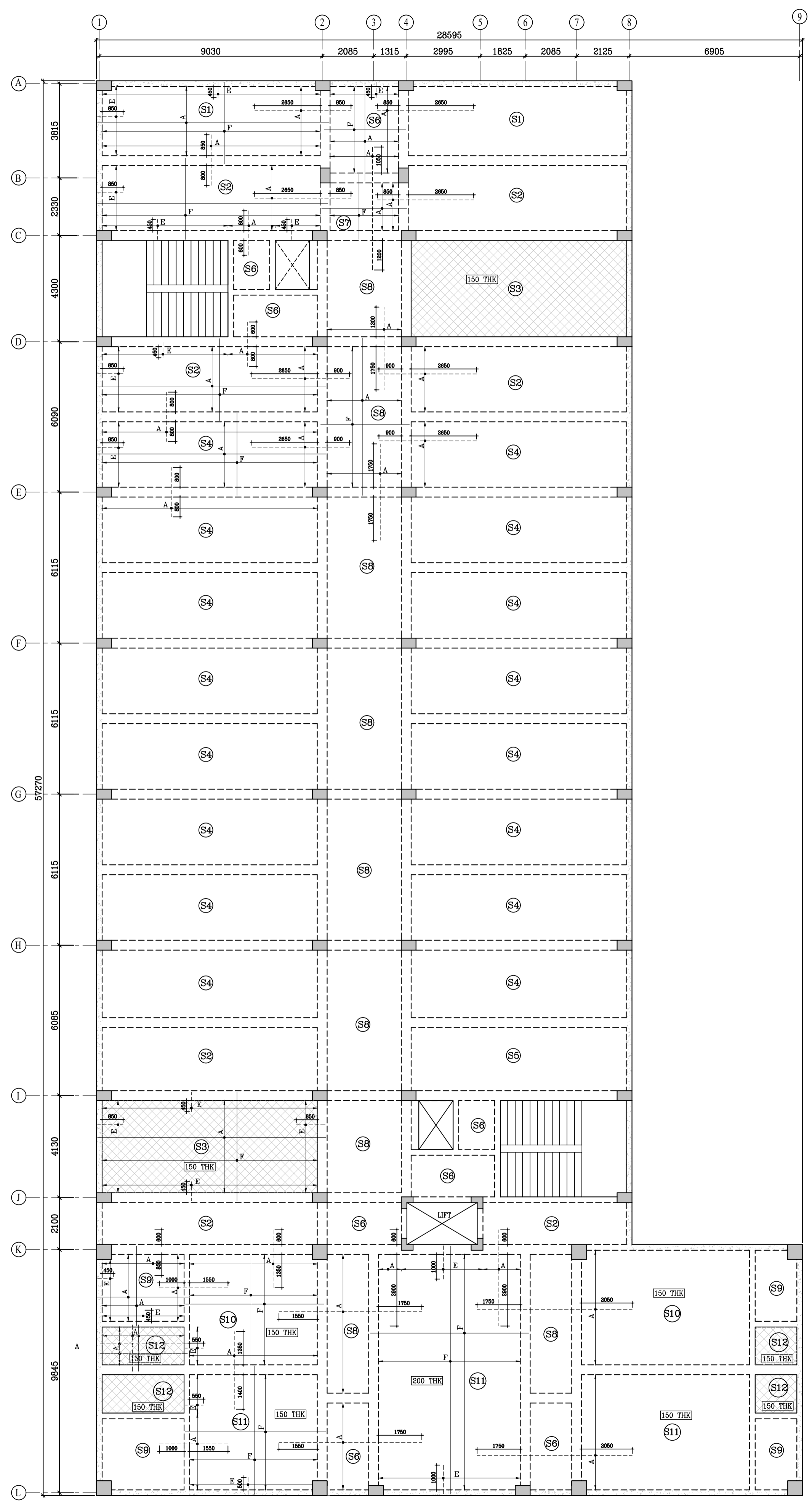

Rajib Chowdhury
Associate Professor
Department of Civil Engineering
Indian Institute of Technology Roorkee
Roorkee-247667, Uttarakhand

REINF. SCHEDULE

MKD	DIA & SPACING
A	10@100c/c
B	10@125c/c
C	10@150c/c
D	10@175c/c
E	10@200c/c
F	10@100c/c
G	10@125c/c
H	12@100c/c

(DIST. R/F 8@250 c/c U.N.O.)
— TOP REINFORCEMENT
— BOTTAM REINFORCEMENT
ALL SLAB TH 125 (U.N.O.)

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SLAB REINF DETAIL AT BASEMENT ROOF LVL
ALL SLABS ARE 125THK U.N.O



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RC
Rajib Chowdhury
 Associate Professor
 Department of Civil Engineering
 Indian Institute of Technology Roorkee
 Roorkee-247667, Uttarakhand

STIRRUPS SCHEDULE

STIR. MKD.	STIRRUPS SPACING
S1	2L-8@100c/c
S2	2L-8@200c/c
S3	4L-8@100c/c
S4	4L-8@200c/c
S5	6L-8@100c/c
S6	6L-8@200c/c

DISTRIBUTION OF PRINTS.		REVISIONS		
DATE	DESCRIPTION	REV.NO	DATE	REV.BY.

NOTES

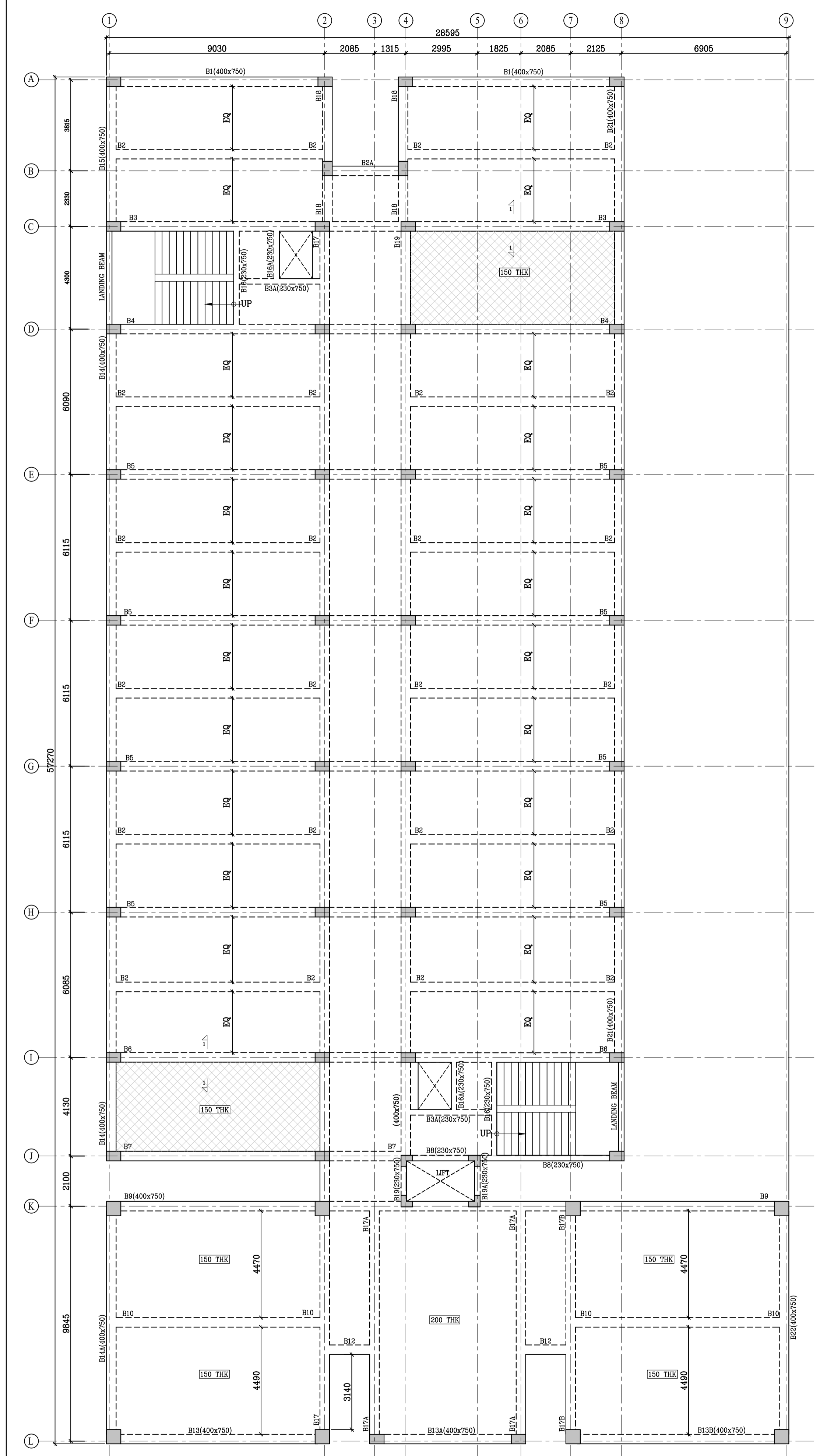
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PROJECT :
PROPOSED SCHOOL,DASNA GHAZIABAD

DRN. EKTA	DRG.GROUP: STRUCTURAL
CHKD. BIRJESH	22-02-2022
APPR. R.R.S.	TITLE: BEAM DETAILS AT FIRST FLOOR ROOF
DRAWING No. S-05B	JOB. NO: 2021-25
D&R CONSULTANT	
100A, 3rd FLOOR BHARAT NAGAR NFC NEW DELHI Tel. 9810592984 Email: revati_raman1@yahoo.com	

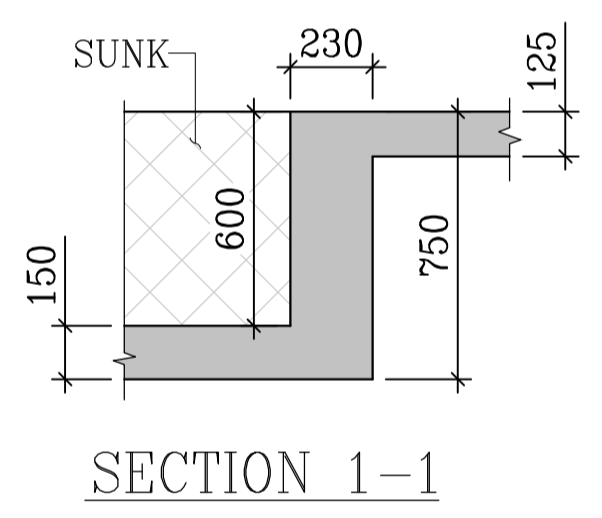


FRAMING PLAN AT FIRST FLOOR ROOF
 ALL SLABS ARE 125THK U.N.O
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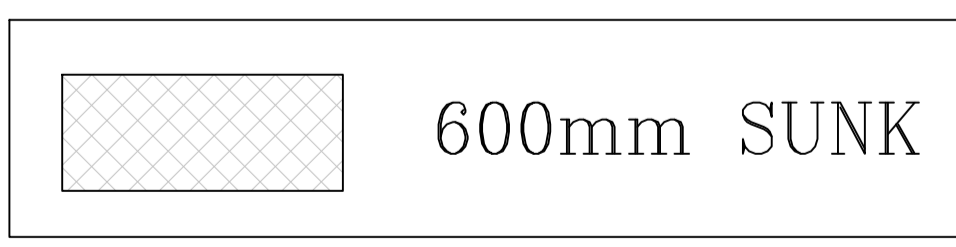
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Rajib
Rajib Chowdhury
 Associate Professor
 Department of Civil Engineering
 Indian Institute of Technology Roorkee
 Roorkee-247667, Uttarakhand



LEGENDS



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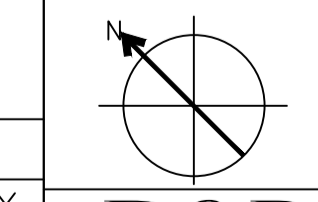
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DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	FRAMING PLAN AT FIRST FLOOR ROOF
		DRAWING No.	S-05
		JOB. NO:	2021-25
		Rev.	



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 Tel. 9810592984
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PROJECT :
**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

DRN. EKTA DRG.GROUP: **STRUCTURAL**
 CHKD. BIRJESH - 22-02-2022

APPR. R.R.S. TITLE:
BEAM DETAILS AT TERRACE LVL

DRAWING No. **S-07B** JOB NO: **2021-25** Rev.
D&R CONSULTANT

100A, 3rd FLOOR BHARAT NAGAR
 NFC NEW DELHI
 Tel. 9810592984
 Email: revati_raman1@yahoo.com

STIRRUPS SCHEDULE

STIR. MKD.	STIRRUPS SPACING
S1	2L-8@100c/c
S2	2L-8@200c/c
S3	4L-8@100c/c
S4	4L-8@200c/c
S5	6L-8@100c/c
S6	6L-8@200c/c

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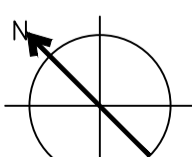
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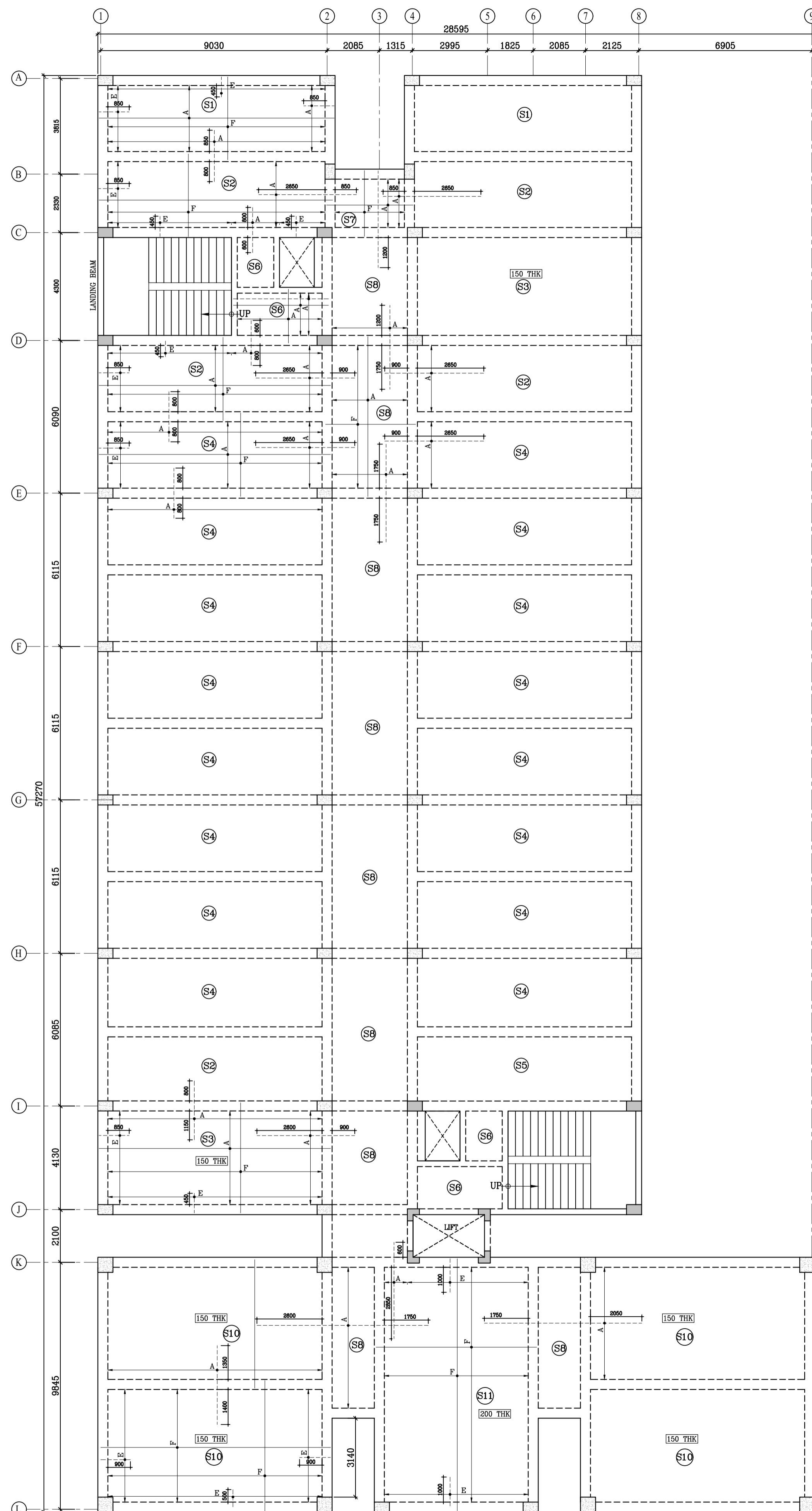
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PROJECT :
**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	SLAB REINFORCEMENT DETAIL AT TERRACE FLOOR LVL

	DRAWING No.	S-07A	JOB. NO.	2021-25	Rev.
	D&R CONSULTANT 100A, 3rd FLOOR BHARAT NAGAR NFC NEW DELHI Tel. 9810592984 Email: revati_raman1@yahoo.com				

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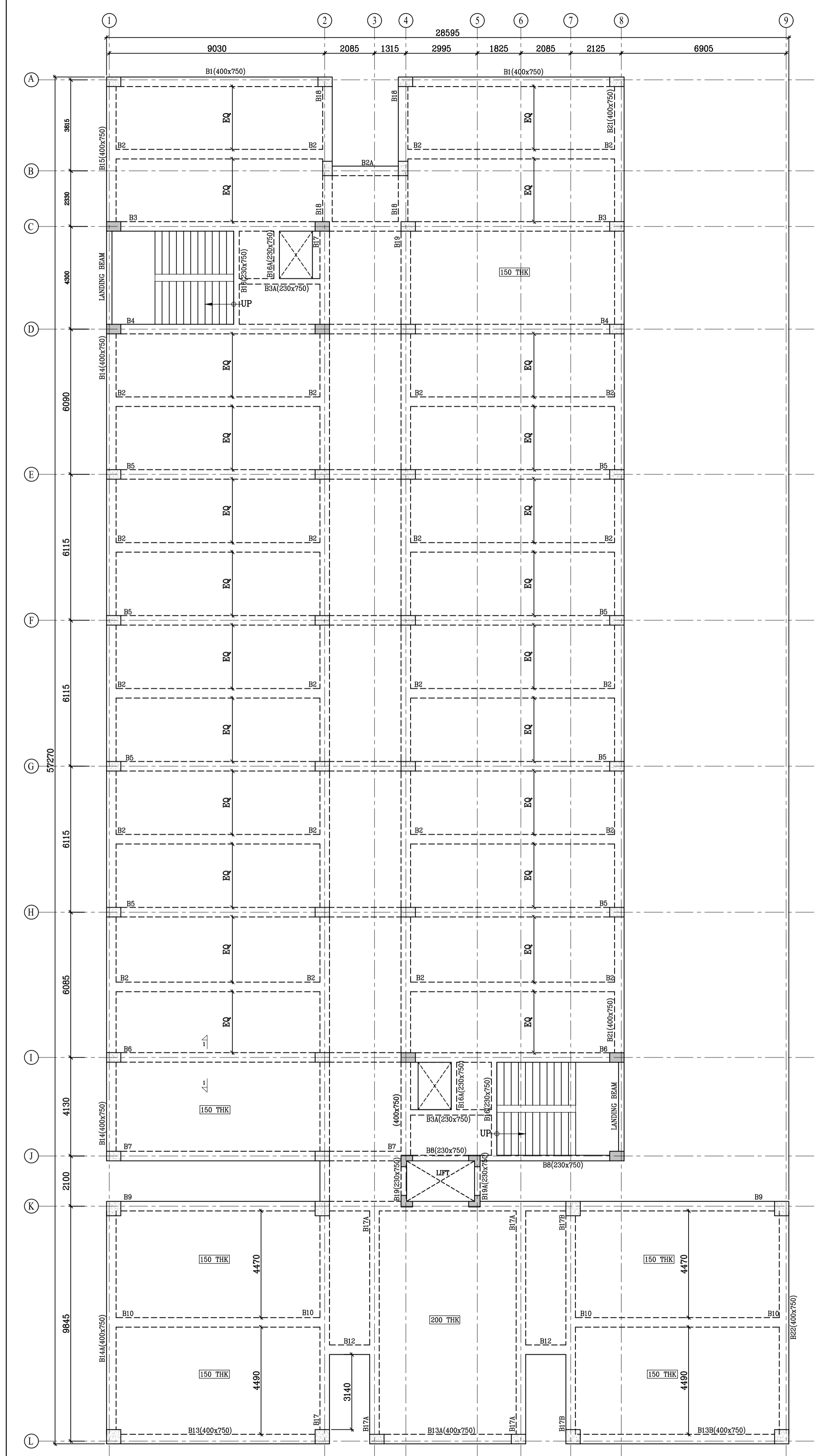


REINF. SCHEDULE

MKD	DIA &SPACING
A	10@100c/c
B	10@125c/c
C	10@150c/c
D	10@175c/c
E	10@200c/c
F	10@100c/c
G	10@125c/c
H	12@100c/c

(DIST. R/F 8@250 c/c U.N.O.)
 - - TOP REINFORCEMENT
 - - BOTTAM REINFORCEMENT
 ALL SLAB TH 125 (U.N.O.)

SLAB REINF DETAIL AT GROUND FLOOR ROOF LVL
 ALL SLABS ARE 125THK U.N.O



FRAMING PLAN AT TERRACE LVL
 ALL SLABS ARE 125THK U.N.O
 ALL BEAMS ARE 400X750 U.N.O

NOTES

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- RCC GRADE SHALL BE M25 UNLESS OTHERWISE NOTED.
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- THE DEVELOPMENT LENGTH, ANCHORAGE AND LAP LENGTH OF THE BARS SHALL BE 50D WHERE D IS DIA OF THE BAR
- THE CLEAR COVER TO MAIN REINF. SHALL BE:-
 (a) FOUNDATION=75mm BOTTOM & 50 mm SIDES +TOP
 (b) COLUMNS = 40 mm
 (c) WALLS = 40 mm
 (d) BEAMS = 30 mm
 (e) SLABS = 20 mm
- COLUMNS/FOOTINGS ARE CONCENTRIC ABOUT CENTRE LINES UNLESS NOTED OTHER WISE.
- SUB GRADE TO BE WELL COMPACTED AND PREPARED FOR BASE OF BUILDING.
- R.W.P.OR SANITARY PIPES NOT TO PASS THROUGH RCC BEAMS OR COLUMNS.
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- LAP IN R/F IF REQUIRED TO BE AS/DUCTILE DETAIL CODE (IS13920)
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- THE STRUCTURE HAS BEEN DESIGNED FOR SEISMIC LOAD ZONE IV

Raman
D & R CONSULTANT
 100A 3rd Floor, Bharat Nagar
 (New Friends Colony)
 New Delhi-110025

Certified that structural design and Drawings has been checked and found safe. Execution/Implementation of the same rests with the client/owr

Rajib Chowdhury
Rajib Chowdhury
 Associate Professor
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 Indian Institute of Technology Roorkee
 Roorkee-247667, Uttarakhand

LEGENDS



ISSUED FOR:-

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TENDER.

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DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	FRAMING PLAN AT TERRACE LVL

	DRAWING No.	S-07	JOB. NO:	2021-25	Rev.
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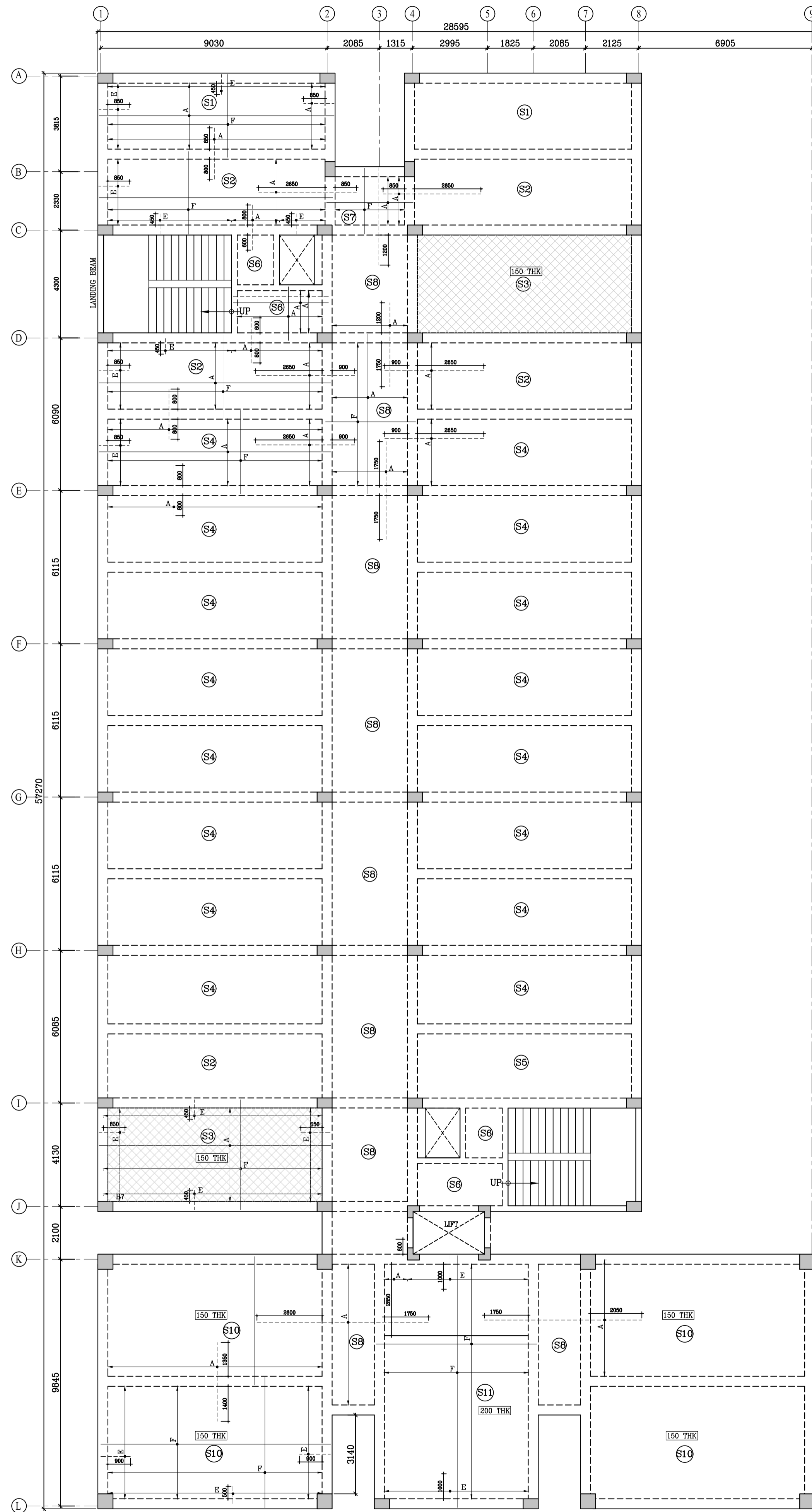
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(DIST. R/F 8@250 c/c U.N.O.)
— TOP REINFORCEMENT
— BOTTAM REINFORCEMENT
ALL SLAB TH 125 (U.N.O.)



SLAB REINF DETAIL AT FIRST FLOOR ROOF
ALL SLABS ARE 125THK U.N.O

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PROJECT :

**PROPOSED SCHOOL,DASNA
GHAZIABAD**

DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	SLAB REINFORCEMENT DETAIL AT FIRST FLOOR ROOF

DRAWING No. **S-05A** JOB. NO: **2021-25** Rev.

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100A, 3rd FLOOR BHARAT NAGAR
NFC NEW DELHI
Tel. 9810592984
Email: revati_raman1@yahoo.com



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 - TENDER.
 - PLANNING.
 - CONSTRUCTION/FABRICATION.
 -
 -

STIRRUPS SCHEDULE

STIR. MKD.	STIRRUPS SPACING
S1	2L-8@100c/c
S2	2L-8@200c/c
S3	4L-8@100c/c
S4	4L-8@200c/c
S5	6L-8@100c/c
S6	6L-8@200c/c

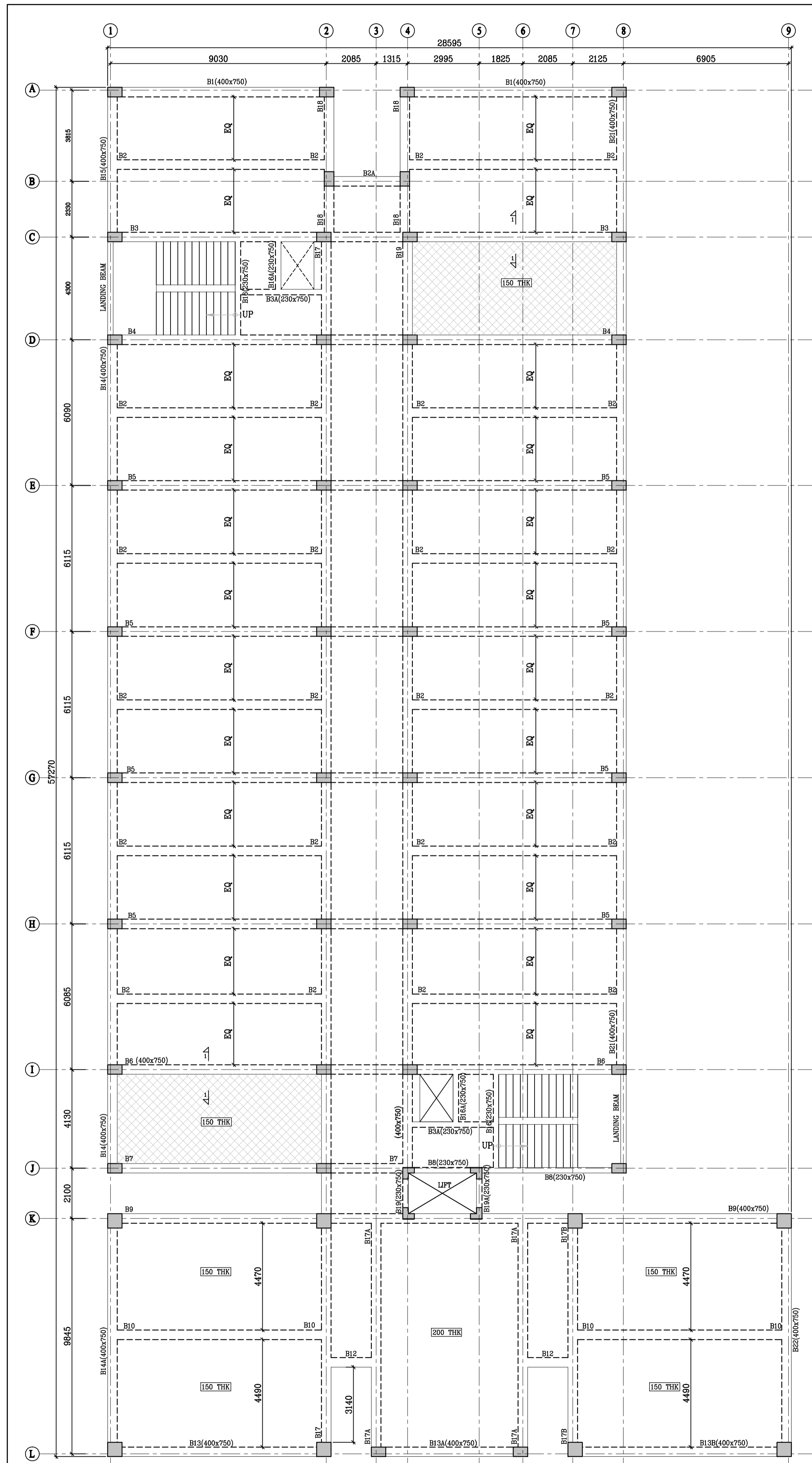
PROJECT :

**PROPOSED SCHOOL,DASNA
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DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	BEAM DETAILS AT GROUND FLOOR ROOF
		DRAWING No.	S-04B
		JOB. NO:	2021-25
		Rev.	

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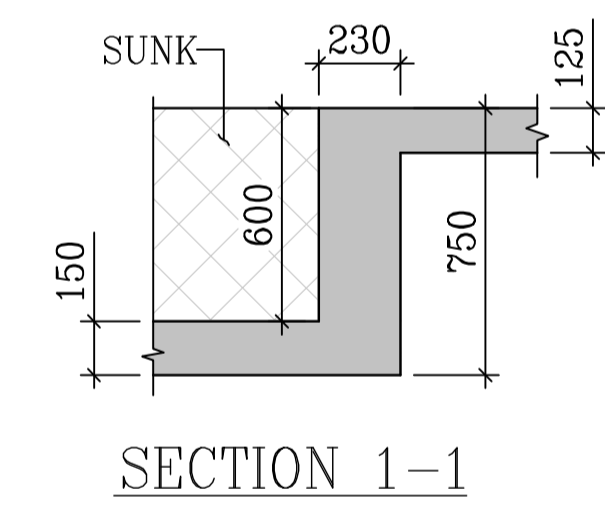


FRAMING PLAN AT GROUND FLOOR ROOF LVL.
ALL SLABS ARE 125TH U.N.O
ALL BEAMS ARE 400X750 U.N.O

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ISSUED FOR:-

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<input type="checkbox"/> TENDER.	<input type="checkbox"/>
<input type="checkbox"/> PLANNING.	<input type="checkbox"/>

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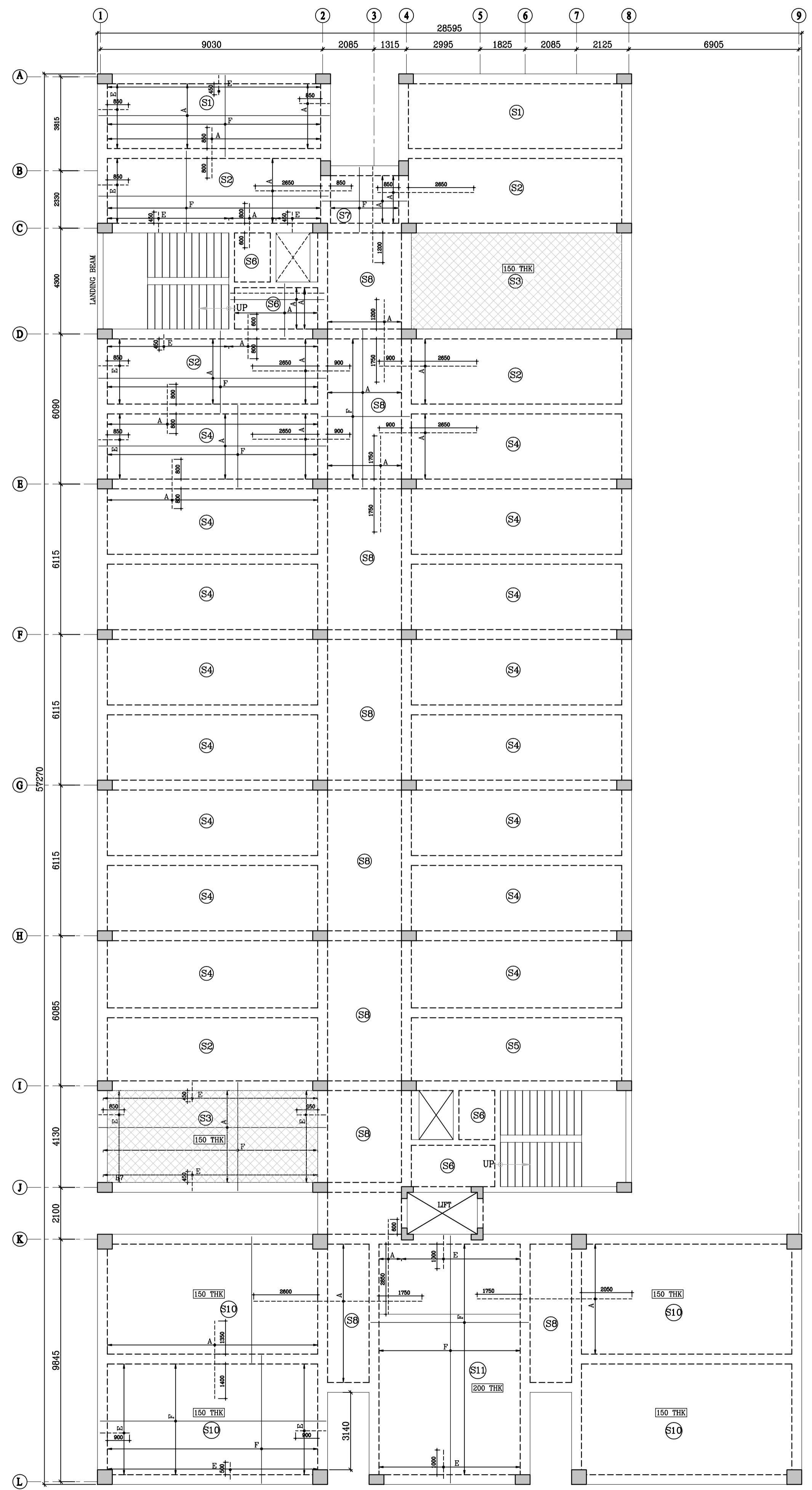
PROJECT :
PROPOSED SCHOOL,DASNA
GHAZIABAD

DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	FRAMING PLAN AT GROUND FLOOR ROOF

DRAWING No.	S-04	JOB. NO:	2021-25	Rev.	
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SLAB REINF DETAIL AT GROUND FLOOR ROOF LVL.
ALL SLABS ARE 125THK U.N.O.

REINF. SCHEDULE

MKD	DIA & SPACING
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 - - BOTTM REINFORCEMENT
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ISSUED FOR:-

<input type="checkbox"/> INFORMATION.	<input type="checkbox"/> CONSTRUCTION/FABRICATION.
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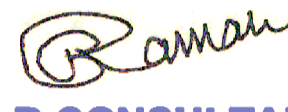
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PROJECT :
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DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	SLAB REINFORCEMENT DETAIL AT GROUND FLOOR ROOF
DRAWING No.		JOB. NO:	Rev.
S-04A		2021-25	

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- | | |
|---------------------------------------|--|
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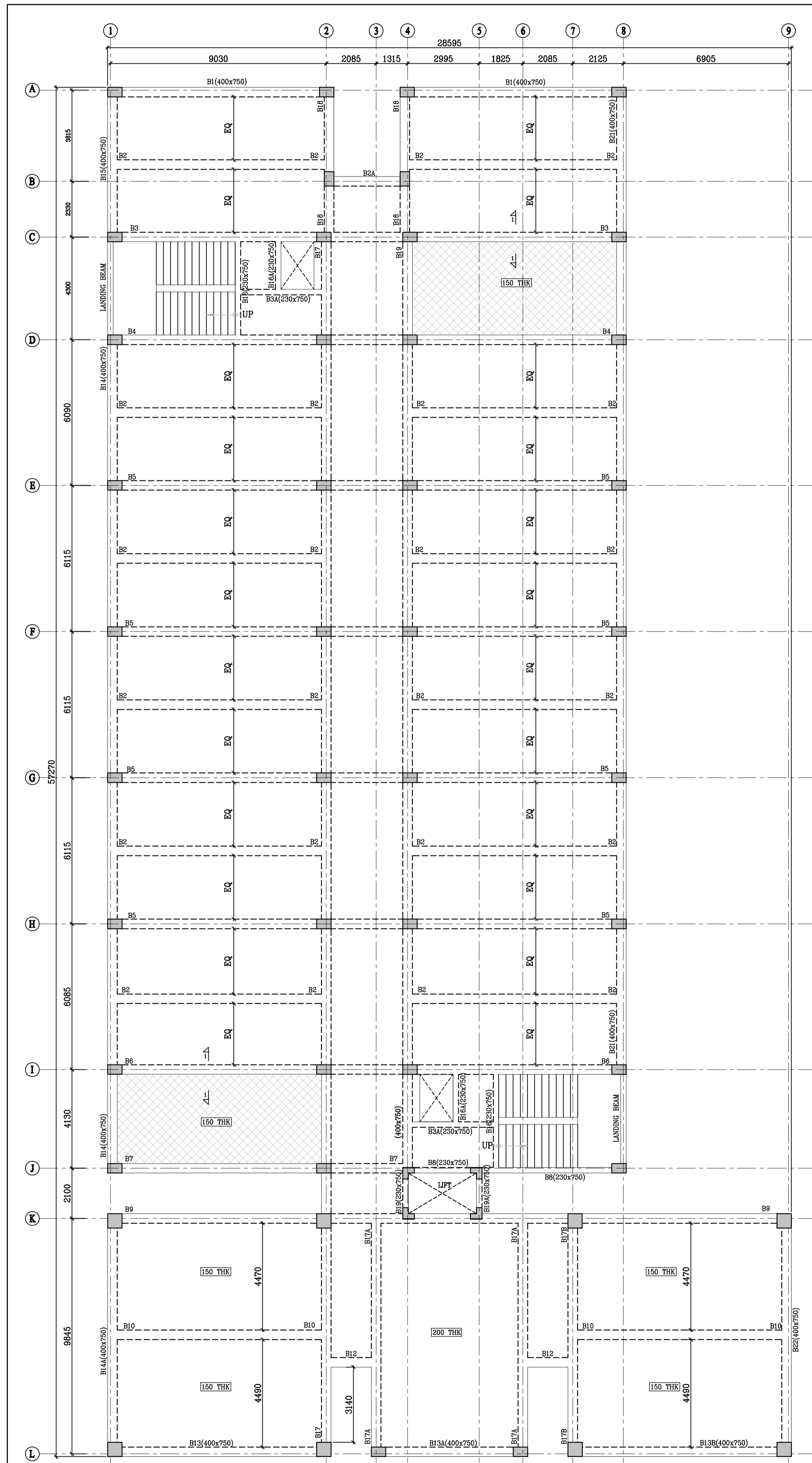
DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	BEAM DETAILS AT SECOND FLOOR ROOF
		DRAWING No.	S-06B
		JOB. NO:	2021-25
		Rev.	

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 NFC NEW DELHI
 Tel. 9810592984
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STIRRUPS SCHEDULE

STIR. MKD.	STIRRUPS SPACING
S1	2L-8@100c/c
S2	2L-8@200c/c
S3	4L-8@100c/c
S4	4L-8@200c/c
S5	6L-8@100c/c
S6	6L-8@200c/c

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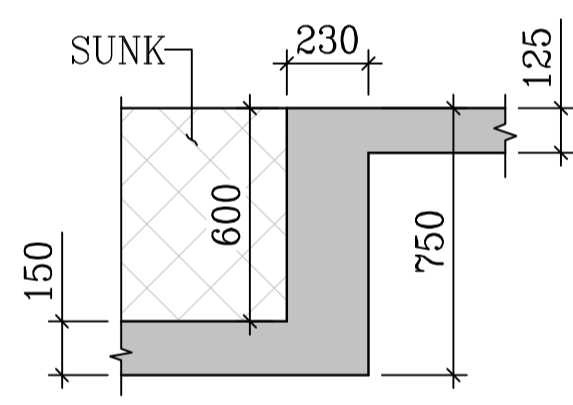


FRAMING PLAN AT SECOND FLOOR ROOF
 ALL SLABS ARE 125THK U.N.O
 ALL BEAMS ARE 400X750 U.N.O

Raman
D & R CONSULTANT
 100A 3rd Floor, Bharat Nagar
 (New Friends Colony)
 New Delhi-110025

Certified that structural design and
 Drawings has been checked and
 found safe. Execution/Implementation
 of the same rests with the client/owr

R
Rajib Chowdhury
 Associate Professor
 Department of Civil Engineering
 Indian Institute of Technology Roorkee
 Roorkee-247667, Uttarakhand



SECTION 1-1

LEGENDS



DISTRIBUTION OF PRINTS.		REVISIONS		
DATE	DESCRIPTION	REV.NO	DATE	REV.BY.

- NOTES**
- ALL DIMENSIONS ARE IN MILLIMETRES.
 - ONLY WRITTEN DIMENSION TO BE FOLLOWED AND DRAWING NOT TO BE SCALED.
 - READ THIS DRAWING IN CONJUNCTION WITH ARCHITECTURAL DRGS FOR THIS PROJECT.
 - LAYOUT DIMENSIONS AND ALL LEVELS SHALL ALWAYS BE CROSS CHECKED WITH ARCHITECTURAL DRAWINGS.
 - DISCREPANCIES IF ANY MUST BE GOT CLARIFIED BEFORE START OF ACTUAL WORK.
 - RCC GRADE SHALL BE M25 UNLESS OTHERWISE NOTED.
 - THE REINF. SHALL BE WITH THERMO MECHANICALLY TREATED (TMT) BARS HAVING YIELD STRENGTH NOT LESS THAN 500 N/MM AND CONFORMING TO IS:1786-1985.
 - THE DEVELOPMENT LENGTH, ANCHORAGE AND LAP LENGTH OF THE BARS SHALL BE 50D WHERE D IS DIA OF THE BAR
 - THE CLEAR COVER TO MAIN REINF. SHALL BE:-
 - FOUNDATION=75mm BOTTOM & 50 mm SIDES +TOP
 - COLUMNS = 40 mm
 - WALLS = 40 mm
 - BEAMS = 30 mm
 - SLABS = 20 mm
 - COLUMNS/FOOTINGS ARE CONCENTRIC ABOUT CENTRE LINES UNLESS NOTED OTHER WISE.
 - SUB GRADE TO BE WELL COMPACTED AND PREPARED FOR BASE OF BUILDING.
 - R.W.P.OR SANITARY PIPES NOT TO PASS THROUGH RCC BEAMS OR COLUMNS.
 - REINF. OF BEAMS TO BE GIVEN FULL ANCHORAGE IN COLUMNS.
 - LAP IN R/F IF REQUIRED TO BE AS/DUCTILE DETAIL CODE (IS13920)
 - THE NET SAFE BEARING CAPACITY IS 20T/M2.
 - THE STRUCTURE HAS BEEN DESIGNED FOR B+4+TERRACE.
 - BACK FILLING / PLINTH FILLING SHALL BE DONE WITH APPROVED EARTH COMPACTED IN LAYERS AND EXCAVATED BLACK COTTON SOIL SHALL BE REMOVED.
 - THE STRUCTURE HAS BEEN DESIGNED FOR SEISMIC LOAD ZONE IV

ISSUED FOR:-

<input type="checkbox"/> INFORMATION.	<input type="checkbox"/> CONSTRUCTION/FABRICATION.
<input type="checkbox"/> TENDER.	<input type="checkbox"/>
<input type="checkbox"/> PLANNING.	<input type="checkbox"/>

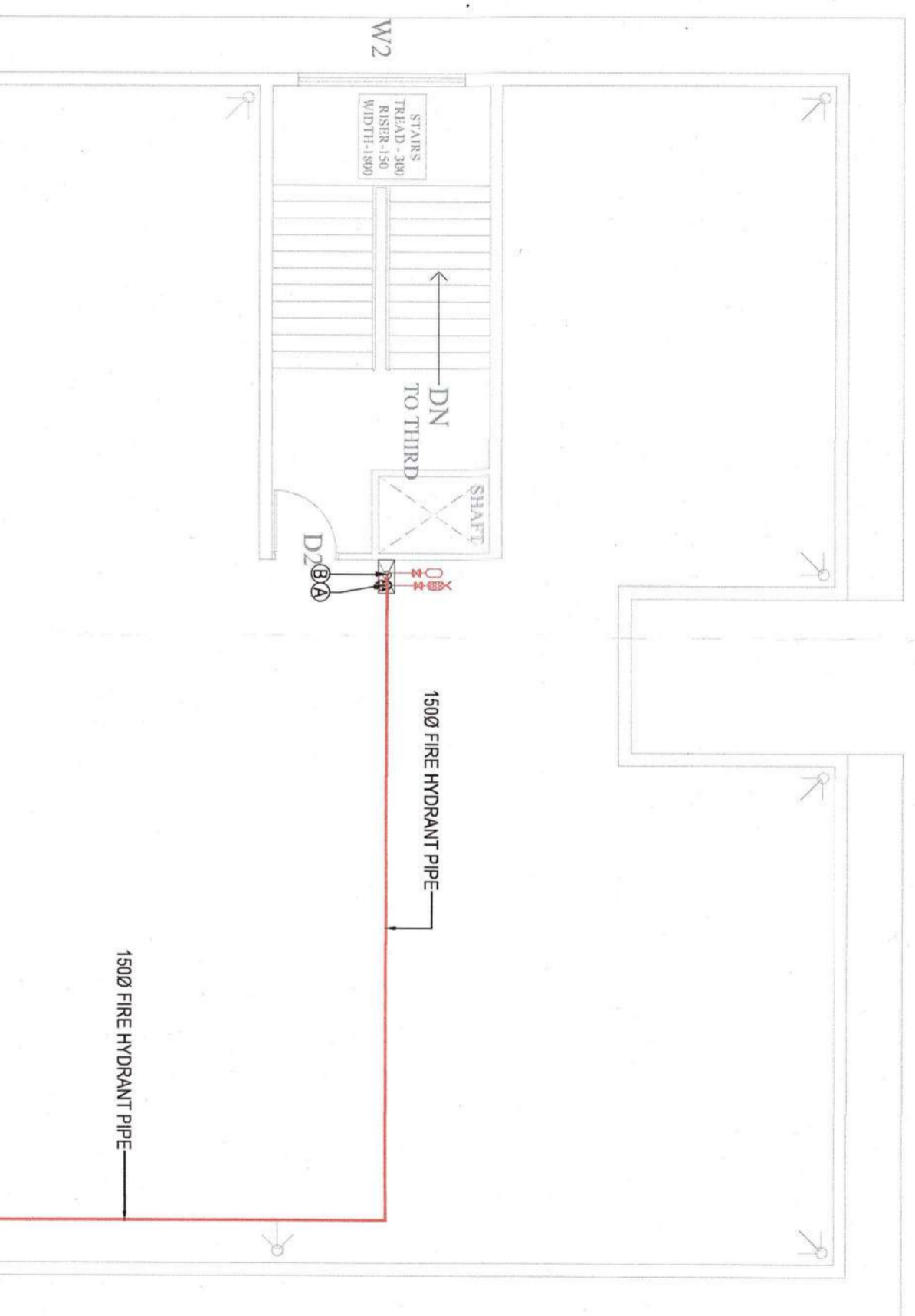
THIS DRAWING IS ISSUED TO THE PARTY FOR THE SPECIFIC PURPOSE AS STATED IN THE AGREEMENT AND IT SHALL NOT BE REPRODUCED, COPIED, LENT OR OTHERWISE DISPOSED OFF DIRECTLY OR INDIRECTLY, NOR USED FOR ANY OTHER PURPOSE OTHER THAN FOR WHICH IT IS FURNISHED.

PROJECT :
**PROPOSED SCHOOL,DASNA
 GHAZIABAD**

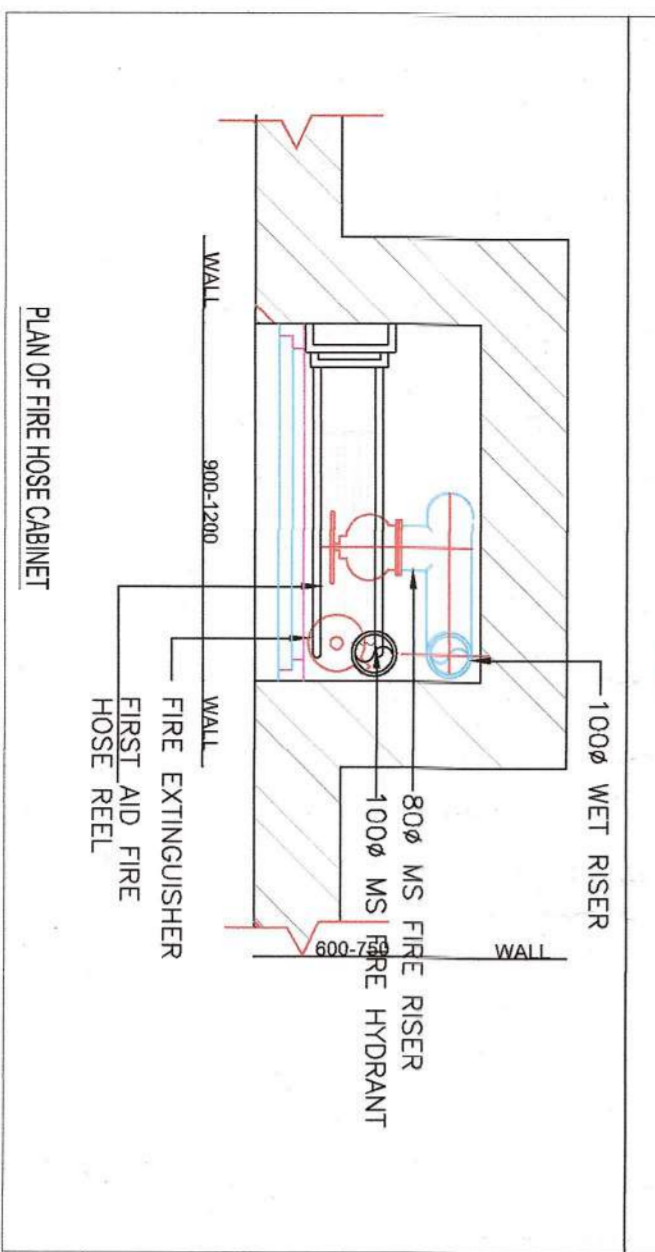
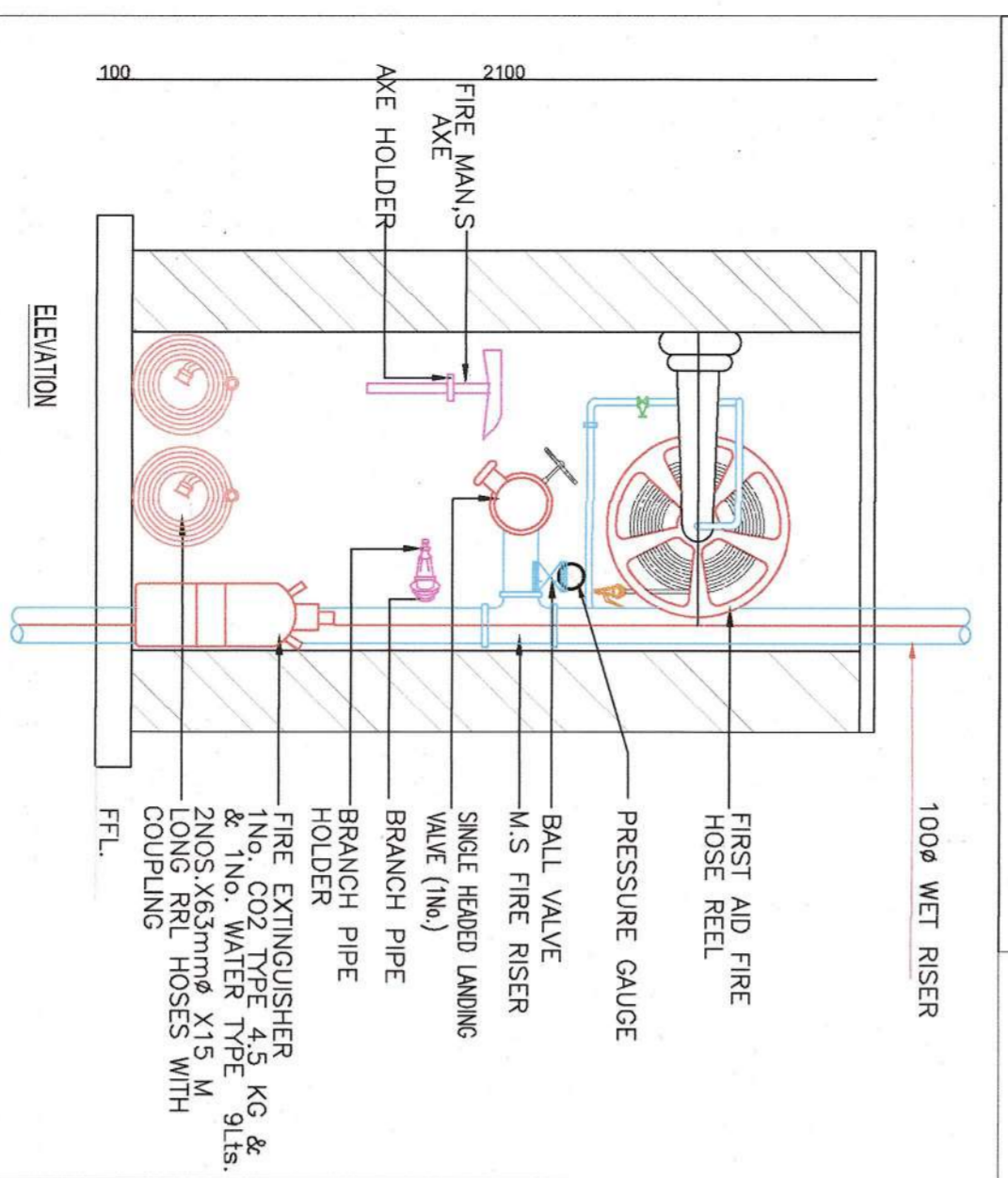
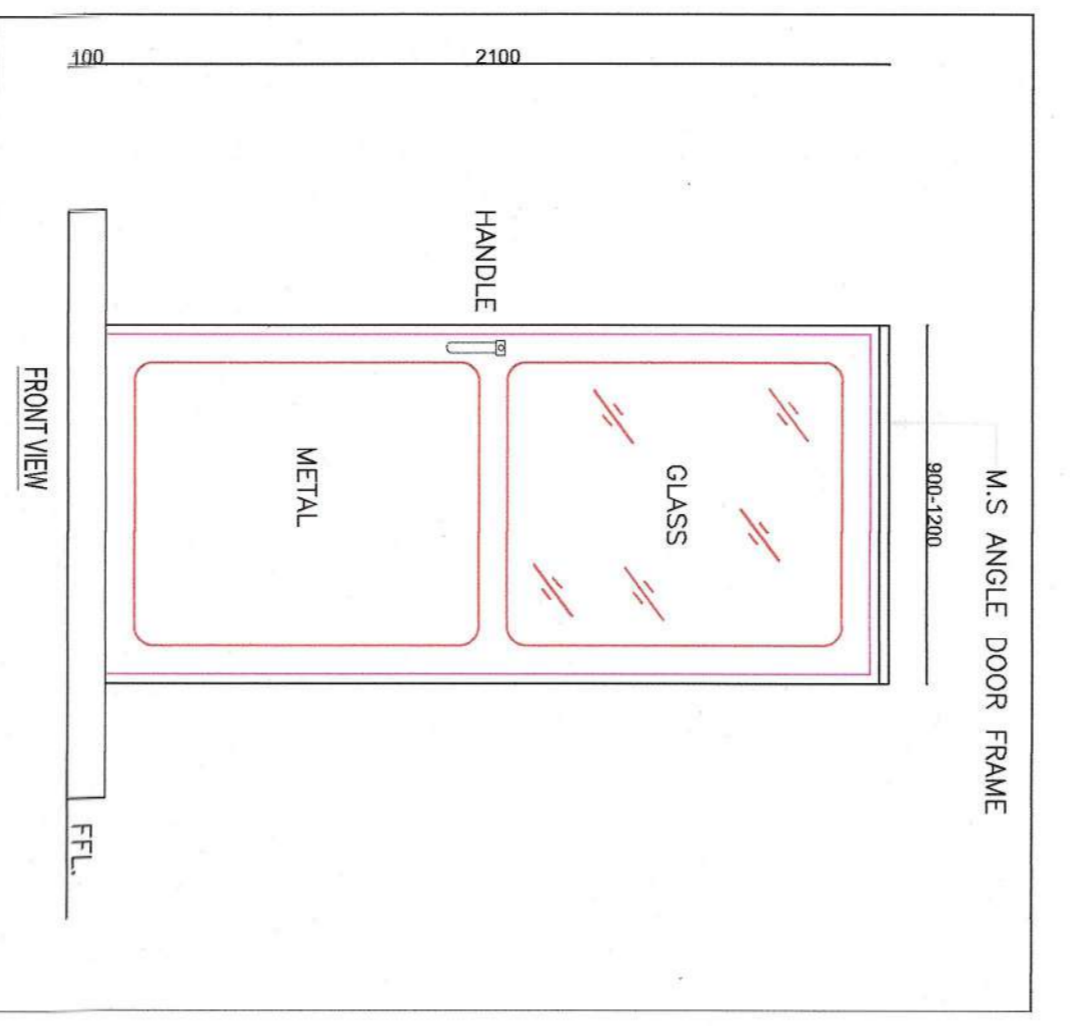
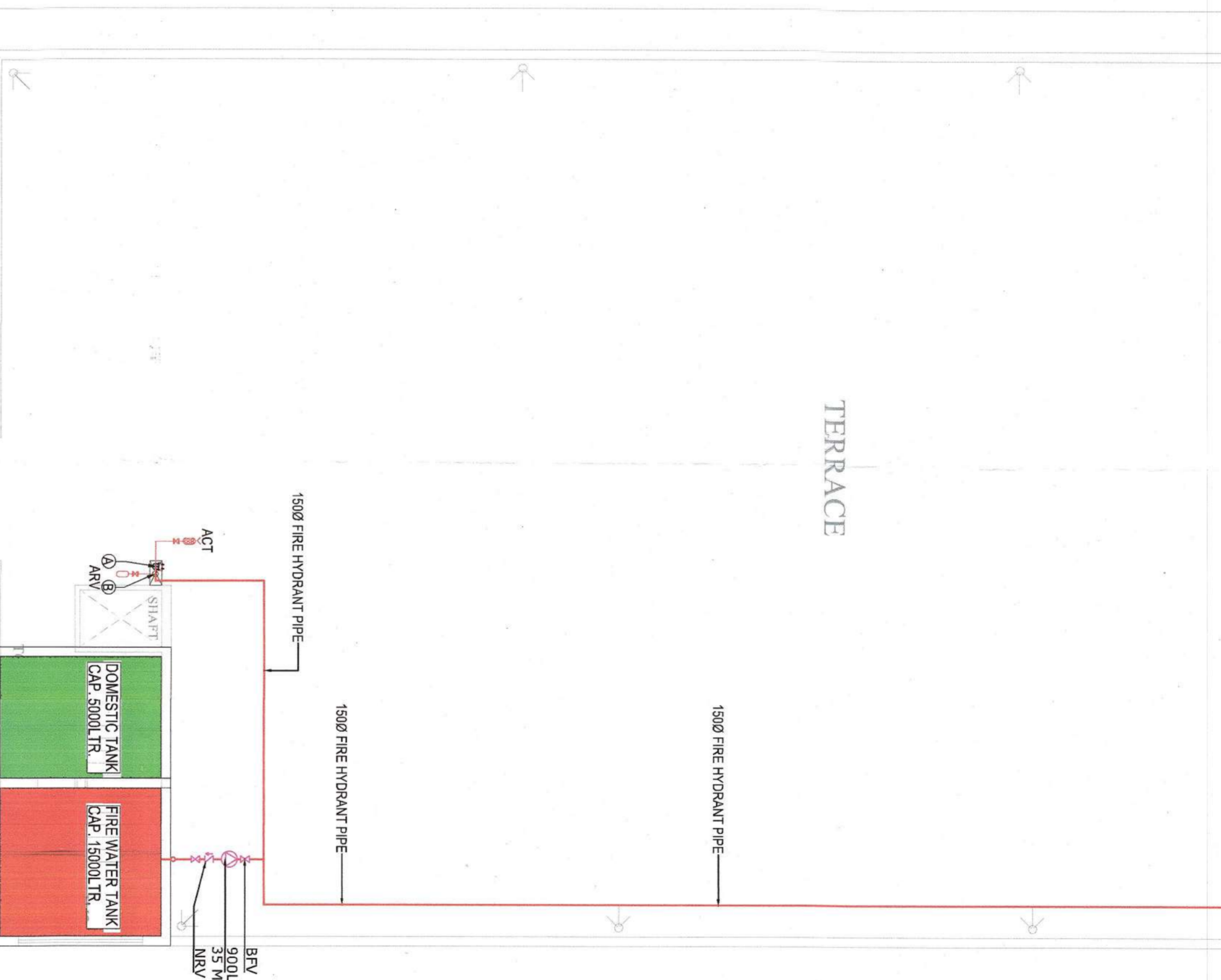
DRN.	EKTA	DRG.GROUP:	STRUCTURAL
CHKD.	BIRJESH		22-02-2022
APPR.	R.R.S.	TITLE:	FRAMING PLAN AT SECOND FLOOR ROOF
		DRAWING No.	S-06
		JOB. NO:	2021-25
D&R CONSULTANT			
100A, 3rd FLOOR BHARAT NAGAR NFC NEW DELHI Tel. 9810592984 Email: revati_raman1@yahoo.com			

Kashyap K. Singh
B. Arch.
CA / 2005 / 37122

Shamal to be approved



S.N	SYMBOL	DESCRIPTION
1.		1000 FIRE PIPE
2.		1000 FIRE SPRINKLER PIPE
3.		800 DRAIN PIPE
4.		FIRE HOSE REEL
5.		BUTTERFLY VALVE
6.		NON RETURN VALVE
7.		SINGLE HEADED HYDRANT
8.		PENDANT SPRINKLER
9.		
10.		4.5 Kg CO ² TYPE FIRE EXTINGUISHER
11.		6 Kg ABC TYPE FIRE EXTINGUISHER
12.		FLOW SWITCH
13.		AIR RELEASE VALVE
14.		AIR CUSHION TANK



TERRACE FLOOR
FIRE FIGHTING LAYOUT PLAN
SCALE - 1:100

कार्यालय पत्रांक: 23 / 2022-23 दिनांक: 20.05.2022
दिनांक: 20.05.2022
27 अक्टूबर, 2018, में प्रकाशित कक्षा-61, विभाग के आदेश के अनुसार
भवनिक स्वीकृत किया जाता है।

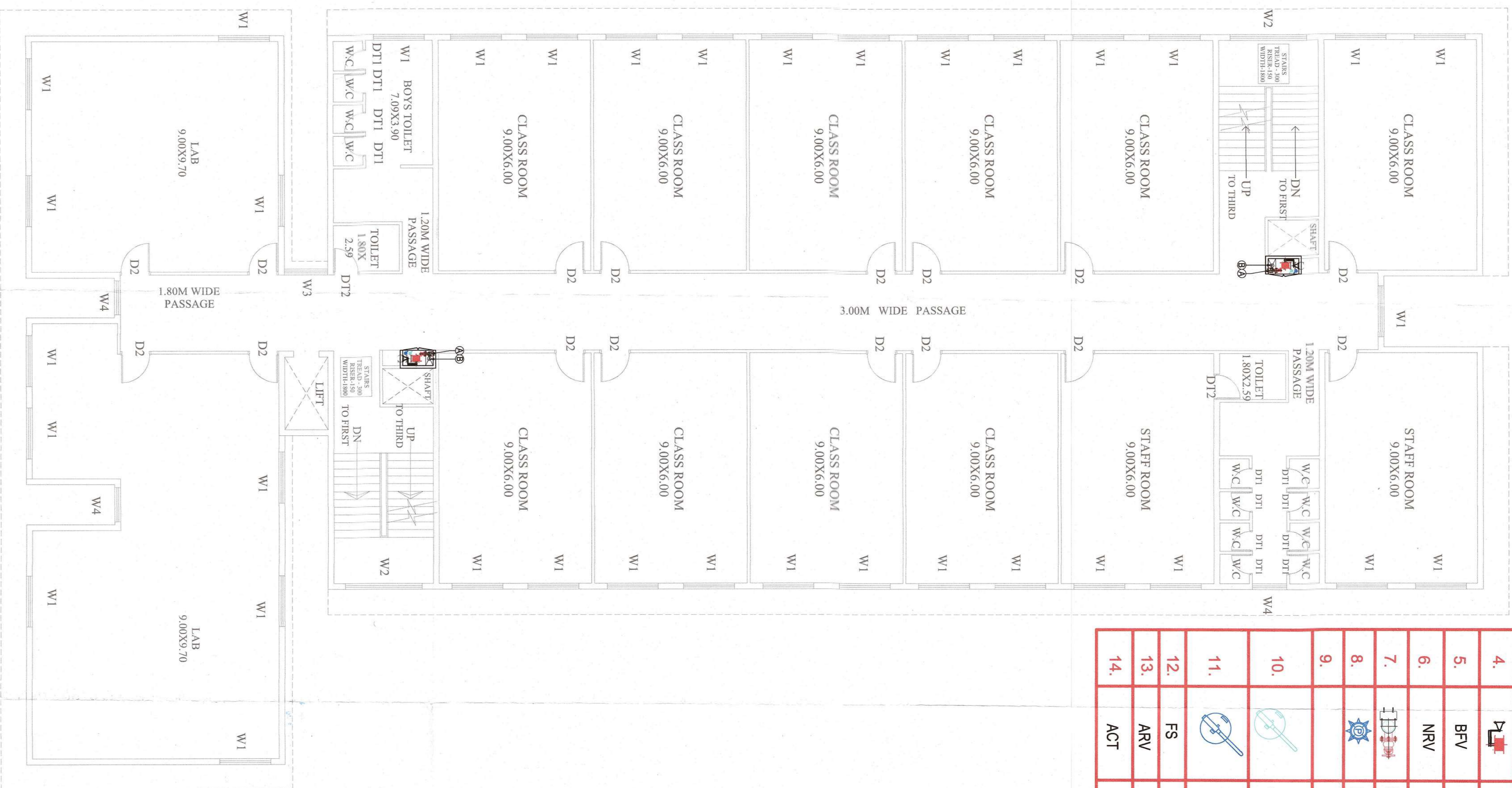
अर शीमन अश्विनी
अश्विनी
अर शीमन अश्विनी
अश्विनी

OWNER NAME DELCOY EDUCATION PVT. LTD. REGD. OFF. ADDRESS - D - 33, SECTOR - 61, GAUTYAMBUDHA NAGAR (U.P)	PROJECT PROPOSED EDUCATIONAL BUILDING SITUATED AT ADDRESS - KHARSA NO - 993 CHH, VILLAGE DASNNA PARGANA DASNNA, TEHSIL & DIST. GHAZIABAD (U.P.)	SCALE@A1 1:100	DATE 26.05.2022	DRAWING TITLE PROPOSED TERRACE FLOOR FIRE FIGHTING LAYOUT PLAN	ARCHITECTS T A I I 78, VICTORIA PARK, MERRUTI, +91-7830743745	ARCHITECT'S SIGNATURE AR. AJEET SINGH CA/2015/66683	OWNER'S SIGNATURE Elis Sengul Authorized Signatory Delcoy Education Private Limited
NOTE - ALL DIMENSIONS IN MM.		DRAWING NO. FF - 06		DRAWN BY AMAN			

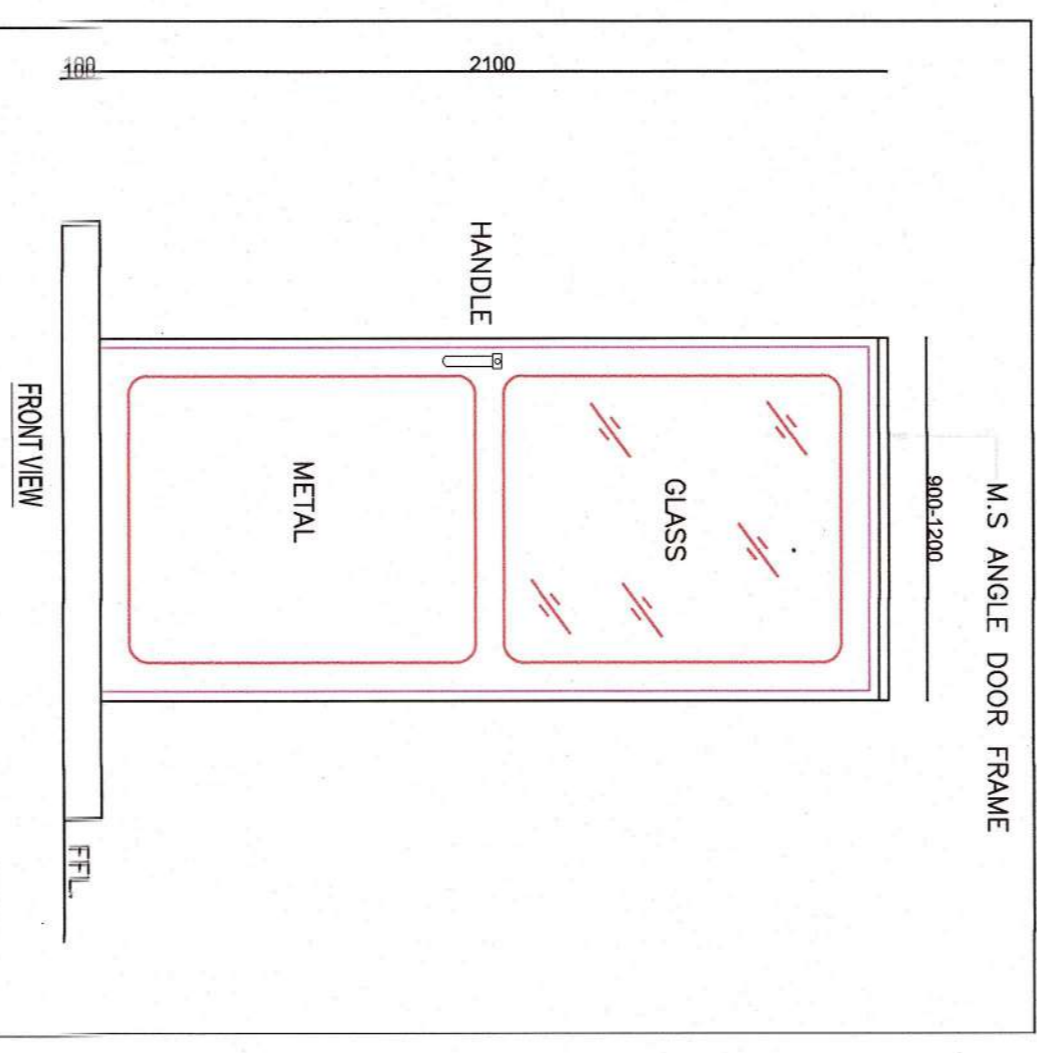
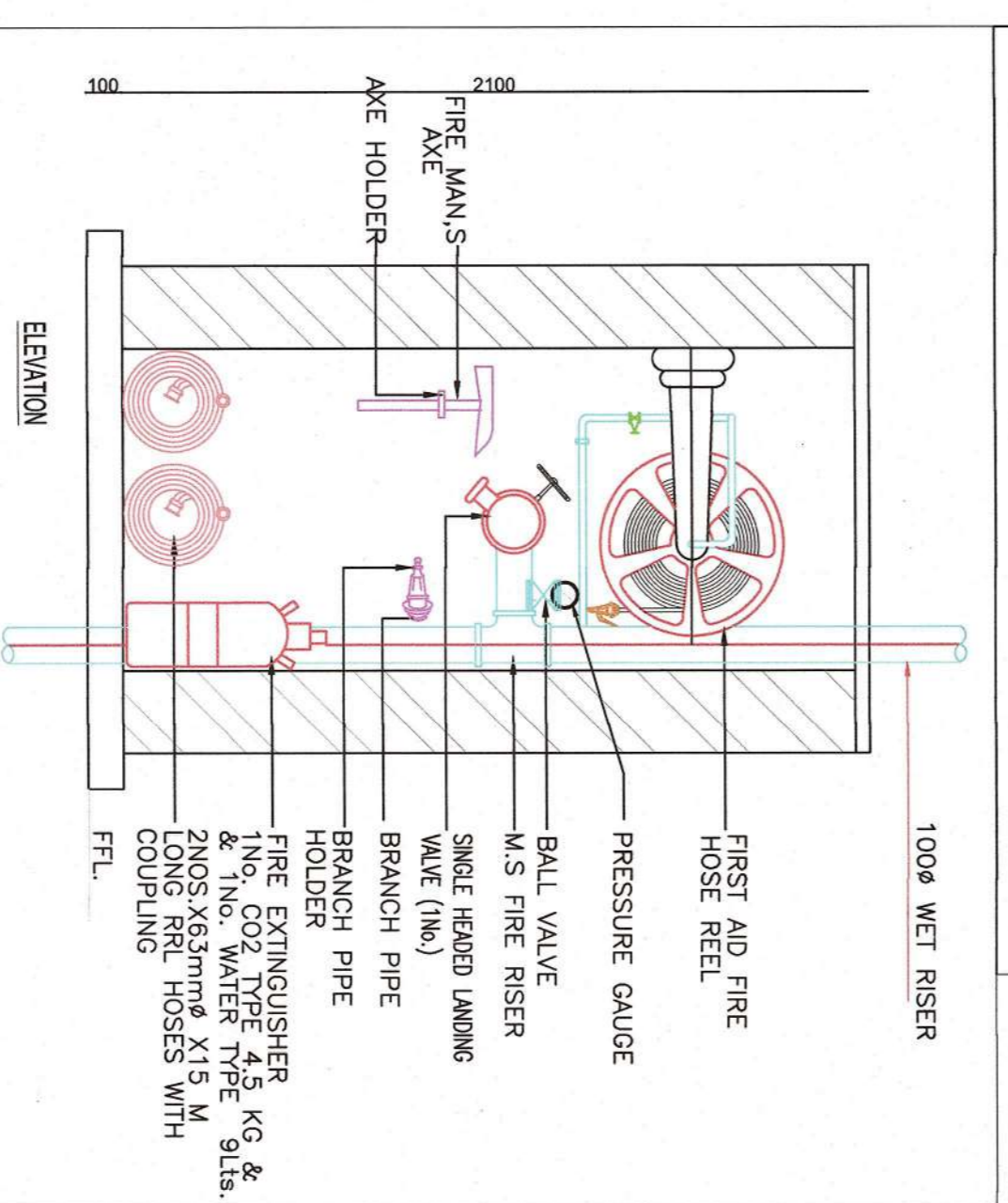
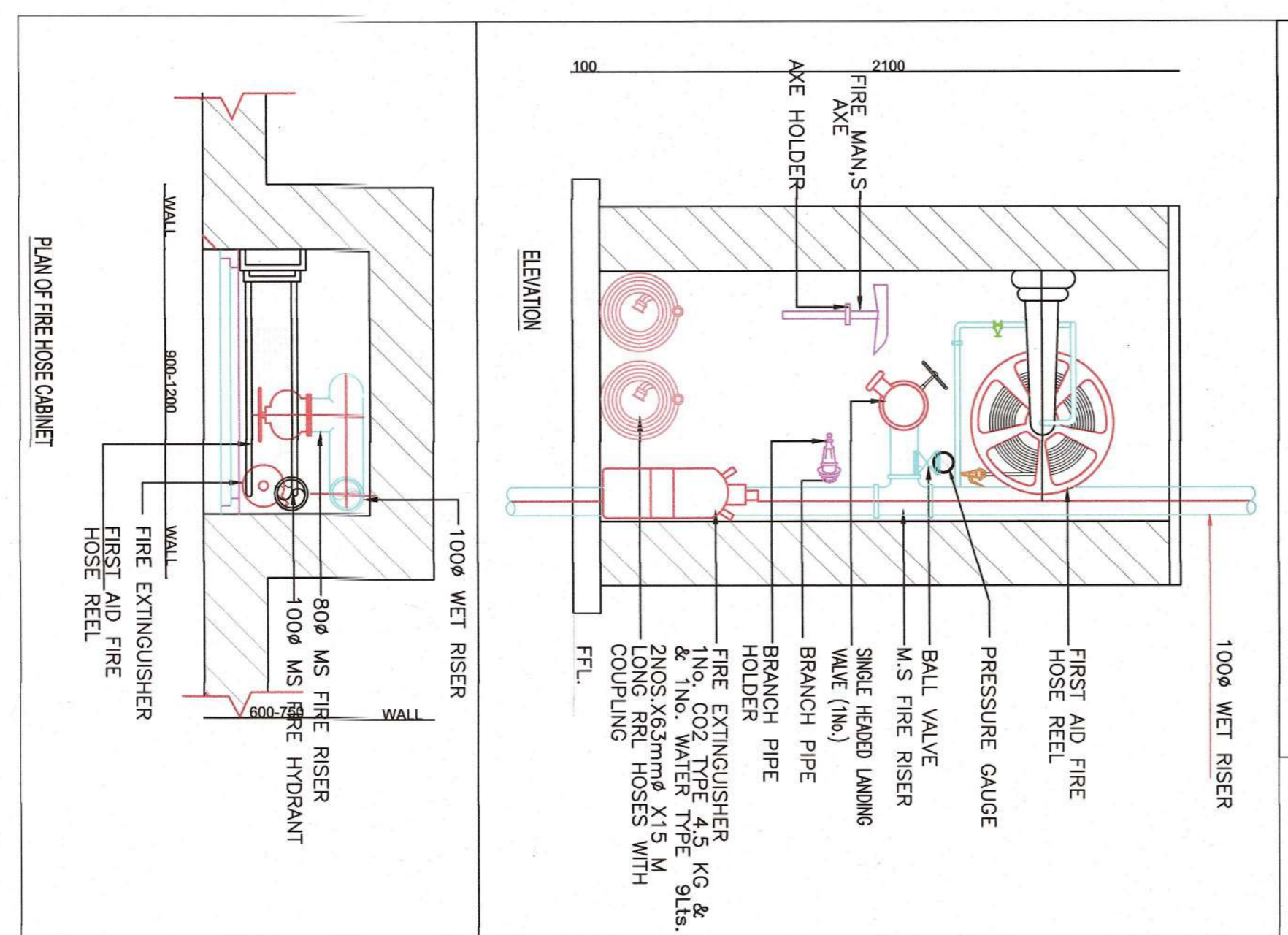
Kashyap Kr. Singh
B. Arch.
CA / 2005 / 37122

Approved to be approved

S.N	SYMBOL	DESCRIPTION
1.		1000 FIRE PIPE
2.		1000 FIRE SPRINKLER PIPE
3.		800 DRAIN PIPE
4.		FIRE HOSE REEL
5.		BUTTERFLY VALVE
6.		NON RETURN VALVE
7.		SINGLE HEADED HYDRANT
8.		PENDANT SPRINKLER
9.		
10.		4.5 Kg CO ² TYPE FIRE EXTINGUISHER
11.		6 Kg ABC TYPE FIRE EXTINGUISHER
12.		FLOW SWITCH
13.		AIR RELEASE VALVE
14.		AIR CUSHION TANK



SECOND FLOOR
FIRE FIGHTING LAYOUT PLAN
SCALE - 1:100



OWNER NAME	PROJECT	SCALE@A1	DATE	DRAWING TITLE	ARCHITECTS	ARCHITECT'S SIGNATURE	OWNERS SIGNATURE
DELICCY EDUCATION PVT. LTD. REGD. OFF. ADDRESS - D - 33, SECTOR - 01, GAUTAMBUDDHA NAGAR (U.P)	PROPOSED EDUCATIONAL BUILDING SITUATED AT ADDRESS - KHASKA NO - 993 CHH, VILLAGE DASN, PARGANA DASN, TEHSIL & DIST. GHAZIABAD (U.P.)	1:100	26.05.2022	PROPOSED SECOND FLOOR FIRE FIGHTING LAYOUT PLAN		AR. AJEET SINGH CA/2015/65683	
NOTE : - ALL DIMENSIONS IN MM		DRAWING NO.	FF - 04	DRAWN BY			

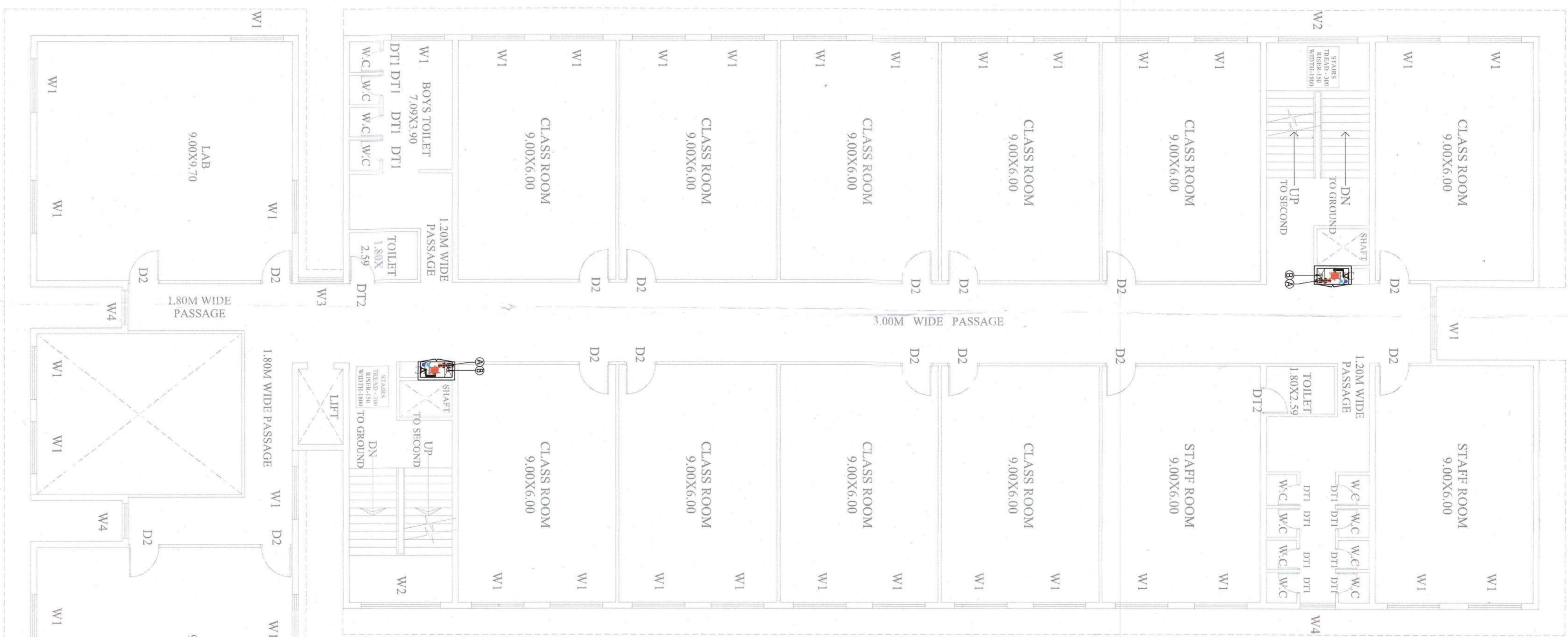
कार्यालय पंजीयन क्र. 239 दिनांक 2020-21
दिनांक 27 अक्टूबर, 2021
गणतंत्रिय की शक्ति

श्री अशोक शर्मा
श्री अशोक शर्मा
श्री अशोक शर्मा

Kashyap Kr. Singh
B. Arch.
CA / 2005 / 37122

Approved to be
approved

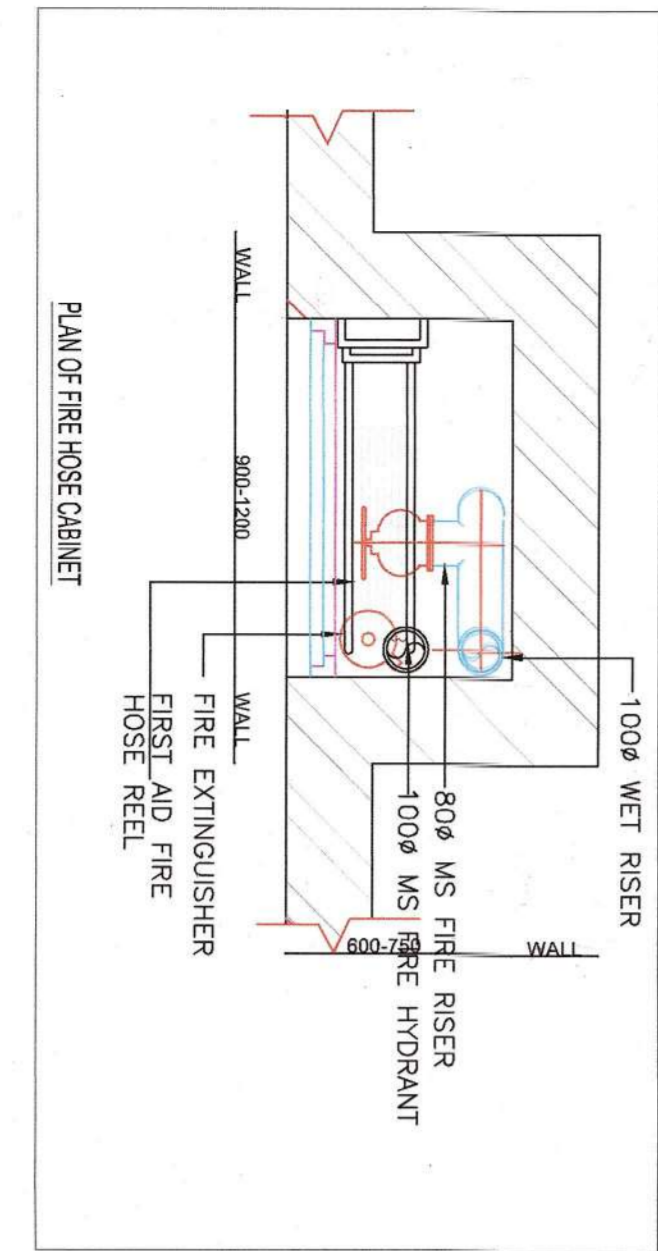
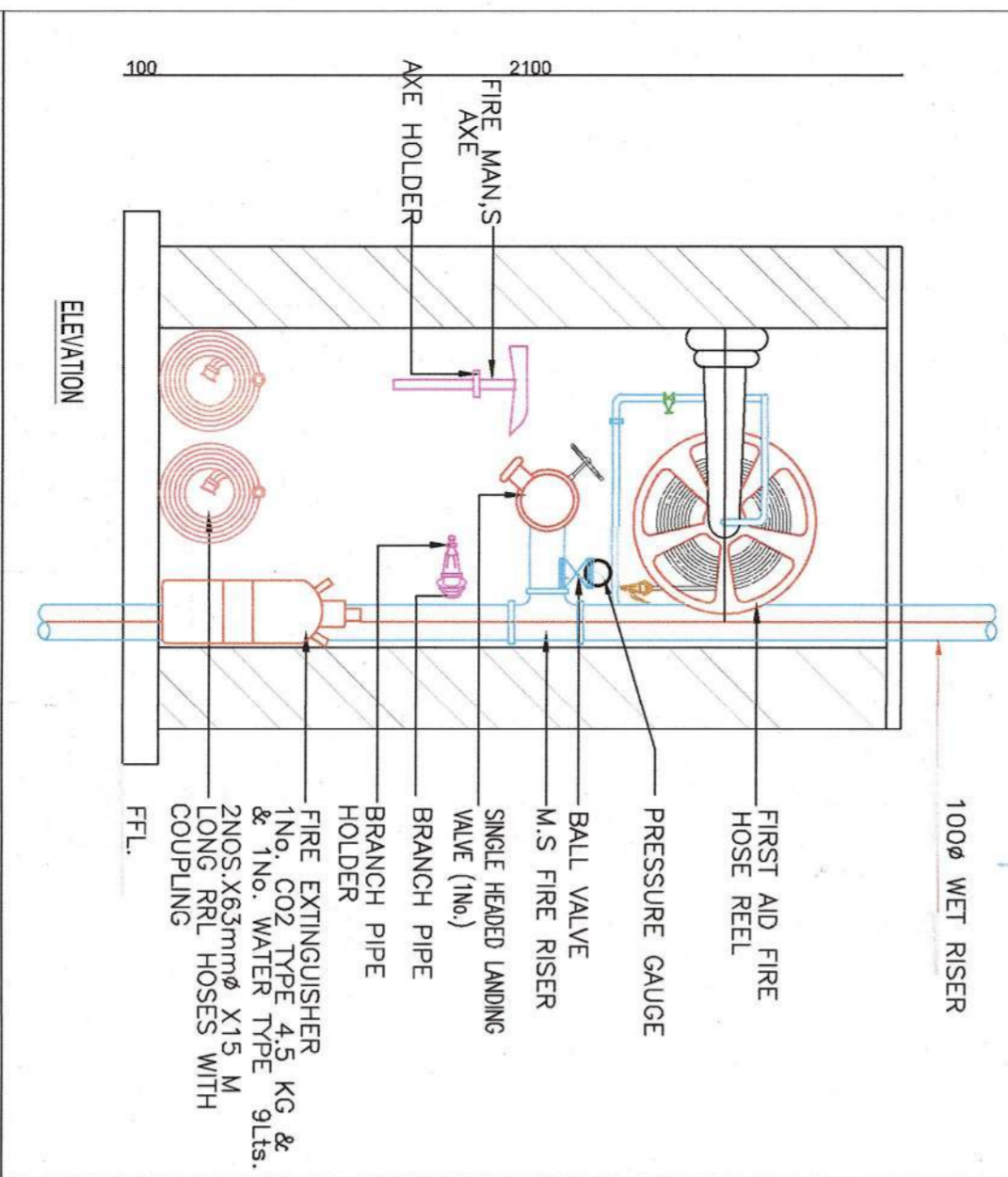
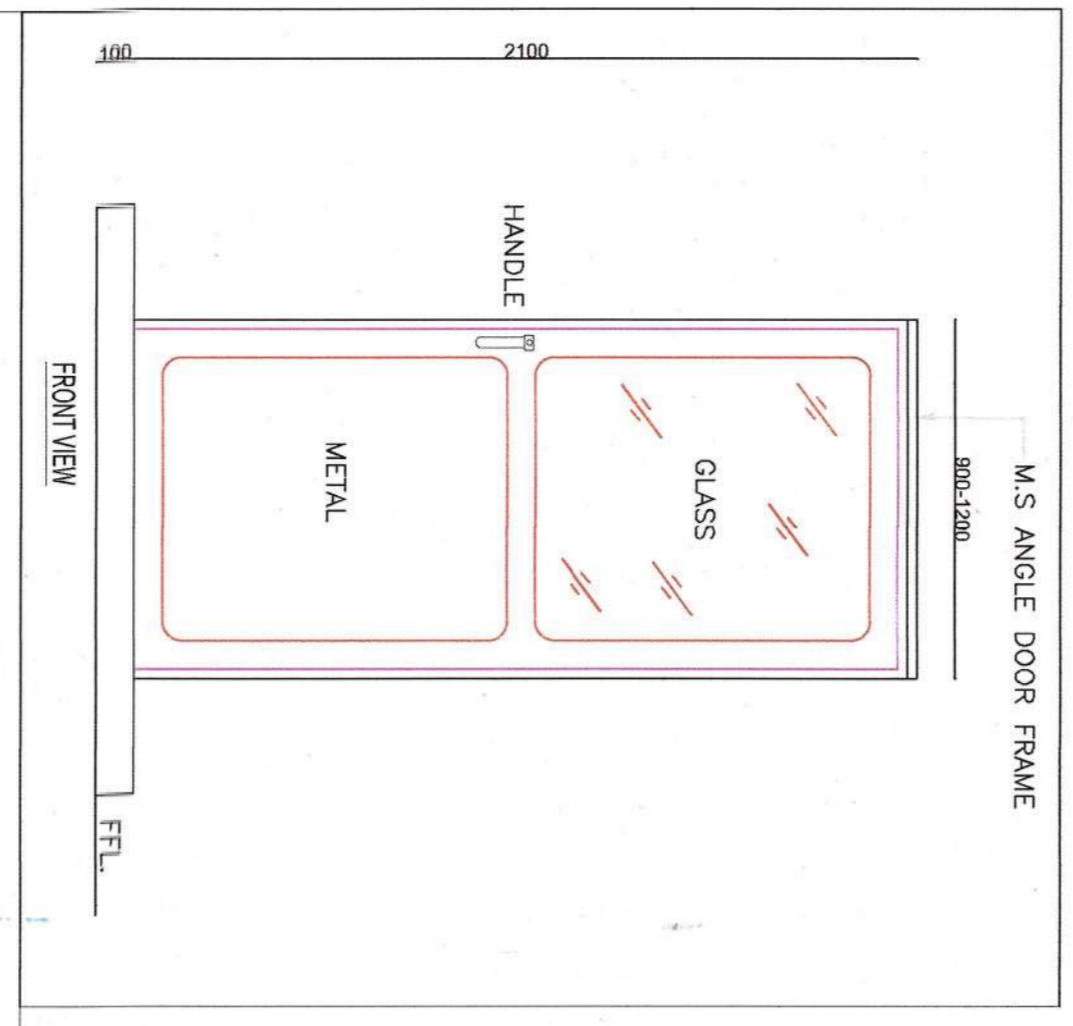
S.N	SYMBOL	DESCRIPTION
1.		1000 FIRE PIPE
2.		1000 FIRE SPRINKLER PIPE
3.		800 DRAIN PIPE
4.		FIRE HOSE REEL
5.		BUTTERFLY VALVE
6.		NON RETURN VALVE
7.		SINGLE HEADED HYDRANT
8.		PENDANT SPRINKLER
9.		
10.		4.5 Kg CO ² TYPE FIRE EXTINGUISHER
11.		6 Kg ABC TYPE FIRE EXTINGUISHER
12.		FLOW SWITCH
13.		AIR RELEASE VALVE
14.		AIR CUSHION TANK



FIRST FLOOR
FIRE FIGHTING LAYOUT PLAN
SCALE - 1:100

कार्यालय पत्रांक 1122 / नवरा-निर्माण / विनोदगंगापुर 2020-21
दिनांक: 27.08.2022 के द्वारा उत्तर प्रदेश सरकार की मांग विना
27 अक्टूबर 2018 में प्रकाशित नगरपालिका अधिनियम की अंश
मानवित्त खातुल विना जाता है।

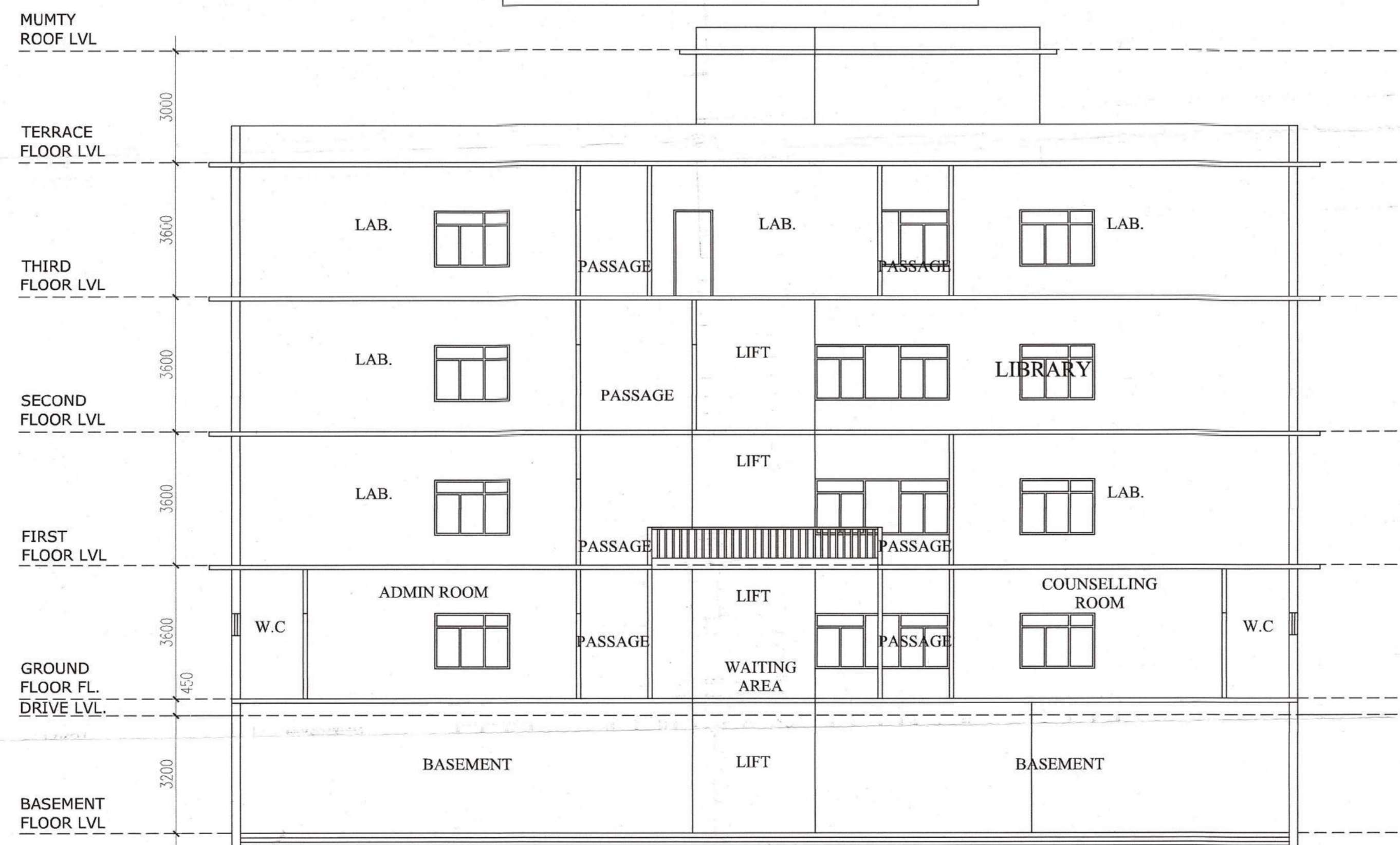
शुभ संकेत
विना चतुर्दश मास
अभिप्रेत
विना चतुर्दश मास
शुभ संकेत
विना चतुर्दश मास



OWNER NAME DELCEY EDUCATION PVT. LTD. REGD. OFF. ADDRESS :- D - 33, SECTOR - 61, GAUTAMBUDHA NAGAR (U/P)	PROJECT PROPOSED EDUCATIONAL BUILDING SITUATED AT ADDRESS :- KHARA NO- 993 CHH, VILLAGE DASNNA, PARGANA DASNNA, TEHSIL & DIST. GHAZIABAD (U.P.)	SCALE@A1 1:100	DATE 26.05.2022	DRAWING TITLE PROPOSED FIRST FLOOR FIRE FIGHTING LAYOUT PLAN	ARCHITECTS AR. AJEET SINGH CA/2015/65653	ARCHITECT'S SIGNATURE 	OWNER'S SIGNATURE
NOTE :- ALL DIMENSIONS IN MM.		DRAWING NO. FF - 03		DRAWN BY AMAN			



FRONT ELEVATION
SCALE - 1:100



SECTION - AA
SCALE - 1:100

DOOR/WINDOW DETAILS				
S.NO.	ITEM	SILL.LVL	LTL.LVL	SIZE
1	DW1	00	2300	6075X2300
2	D1	00	2300	2000X2550
3	D2	00	2300	2000X2550
4	DT1	00	2100	750X2100
5	DT2	00	2100	1000X2100
6	W1	800	2300	2000X1500
7	W2	800	2300	3000X1500
7	W3	800	2300	1700X1500
7	W4	800	2300	1340X1500
8	V1	1700	2300	1000X600

कार्यालय पत्रांक 122 / नक्शा-निर्माण / जि०प०गा०बा० 2020-21
दिनांक 18.05.22 के द्वारा उत्तर प्रदेश सरकारी गजट दिनांक
27 अक्टूबर, 2018, में प्रकाशित तत्सम्बन्धी उपविधियों के अन्तर्गत
मनचित्र स्वीकृत किया जाता है।


अपर अभियन्ता
जिला पंचायत, गाजियाबाद

अभियन्ता
जिला पंचायत गा०बा० जिला पंचायत, गाजियाबाद

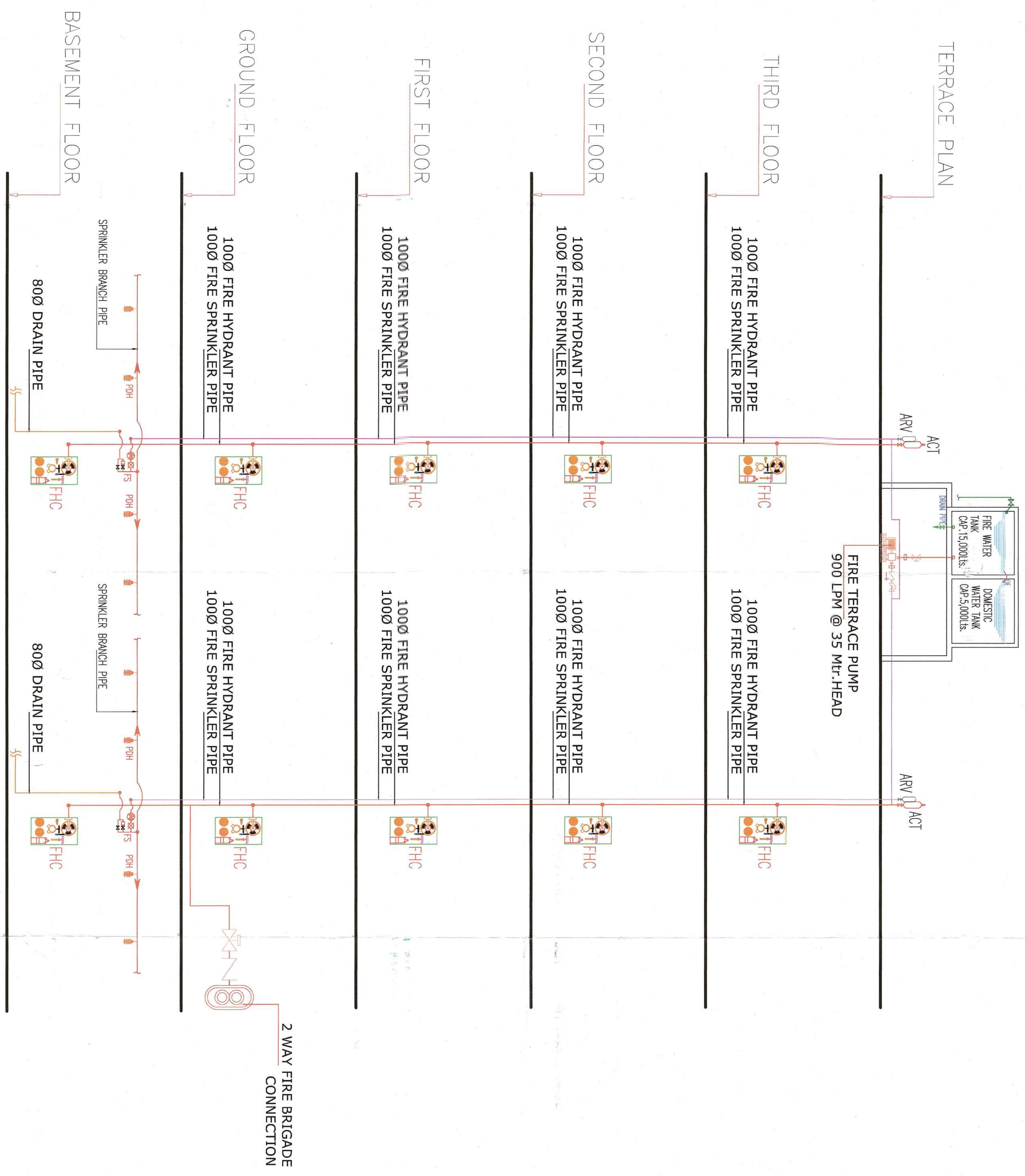
अपर मुला अधिकारी
जिला पंचायत, गाजियाबाद

OWNER NAME	PROJECT	SCALE@A1	DATE	DRAWING TITLE	ARCHITECTS	ARCHITECT'S SIGNATURE	OWNER'S SIGNATURE
DELCY EDUCATION PVT. LTD. REGD. OFF. ADDRESS :- D - 33 , SECTOR - 61 , GAUTAMBUDDHA NAGAR (U.P)	PROPOSED EDUCATIONAL BUILDING SITUATED AT ADDRESS :- KHASRA NO - 993 CHH , VILLAGE DASNA, PARGANA DASNA , TEHSHIL & DISTT. GHAZIABAD (U.P.)	1:100	26.05.2022	PROPOSED ELEVATION AND SECTION	 78, VICTORIA PARK, MEERUT. +91-7830745745	 AR. AJEET SINGH CA/2015/66683	 Kashyap Kr. Singh B. Arch. CA / 2005 / 37122 Approved to be approved
		DRAWING NO.		DRAWN BY			
		08		AR. SAGARIKA			

NOTE :- ALL DIMENSIONS IN MM.

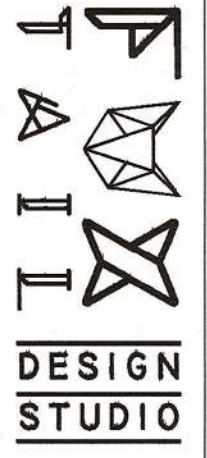
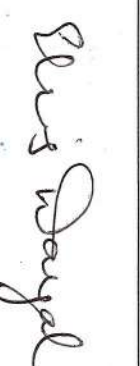

 Kashyap Kr. Singh
 B. Arch.
 CA / 2005 / 37122
 Approved to be
 approved

S.N	SYMBOL	DESCRIPTION
1.		1000 FIRE PIPE
2.		1000 FIRE SPRINKLER PIPE
3.		800 DRAIN PIPE
4.		FIRE HOSE REEL
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10.		4.5 Kg CO ² TYPE FIRE EXTINGUISHER
11.		6 Kg ABC TYPE FIRE EXTINGUISHER
12.		FLOW SWITCH
13.		AIR RELEASE VALVE
14.		AIR CUSHION TANK



FIRE SCHEMATIC LAYOUT PLAN
 SCALE - N.T.S

कायालय पराक... 22 / नगरा-निर्माण / विनोदगणेश्वर 2020-21
 दिनांक... 8.8.20... के द्वारा उत्तर प्रदेश सरकारी नाटक दिनांक
 27 अक्टूबर, 2018, में प्रकाशित तस्मात्वाची चयनितियों के अनंतर
 मानसिब स्वीकृत किया जाता है।
 अतिरिक्त अरु सुचना पंजीकृत
 निवा कबाल नाशरानर फाला परावर्त, गजिबाराबाद

OWNER NAME	PROJECT	SCALE@A1	DATE	DRAWING TITLE	ARCHITECTS	ARCHITECT'S SIGNATURE	OWNER'S SIGNATURE
DELCEY EDUCATION PVT. LTD. REGD. OFF. ADDRESS :- D - 33, SECTOR - 61, GAUTAMBUDDDHA NAGAR (UP)	PROPOSED EDUCATIONAL BUILDING SITUATED AT ADDRESS :- KHASRA NO - 993 CHH, VILLAGE DASNA, PARAGANA DASNA, TEHSIL & DISTT. GHAZIABAD (U.P.)	N.T.S	26.05.2022	PROPOSED FIRE SCHEMATIC DIAGRAM		AR. AJEET SINGH CA/2015/66683	 Delcy Education Private Limited
NOTE :- ALL DIMENSIONS IN MM.		DRAWING NO.	FF - 07	DRAWN BY			